



Wanda Williams, Mayor

PLANNING BUREAU CASE REPORT

Preliminary/Final Lot Consolidation Plan & Land Development Plan Application 1933 & 1951 Herr Street

APPLICANT:

Nirmal Singh & Mohinder Kaur Gill w/ M&N, Inc.

APPLICANT STATUS:

Owner

ZONING:

Commercial Neighborhood (CN) & Industrial (IND)

HISTORIC DISTRICT:

N/A

SUBMISSION DATE:

April 20, 2023

HPC DATE:

June 7, 2023

POSTING DATE:

June 1, 2023

FLOODPLAIN:

Zone X (No Floodplain)

REQUEST:

The Applicant is proposing to demolish the existing diner and gas station structures on-site, consolidate the lots, and construct a new gas station and convenience store on-site, along with associated site and access improvements.

PROPERTY DESCRIPTION:

The properties at 1933 & 1951 Herr Street total 0.69 acres: the former features a 1,552-square-foot structure which was constructed in 1956 (per Dauphin County Tax Records), and the latter features a gas station canopy and small convenience store structure which was constructed in 1991 (per Dauphin County Tax Records). The properties are bounded by Herr Street to the north, North 20th Street to the east, Kunkel Street to the south, and the property at 1927 Herr Street to the west.

1933 Herr Street

This detached structure is a diner (formerly called the “American Dream Diner”) that features elements of the Googie architectural style. Character-defining features include: the 1950’s era embellishments; the horizontal metal façade treatments above and below large windows that wrap around the front and sides of the building; a clock above the entrance vestibule; and a roof top sign which advertised former businesses on-site. The main entryway features full-view metal doors in a vestibule extended from the main building façade, with entrances on either side accessed by concrete steps and metal railings. Fenestration also includes fourteen (14) fixed-pane windows around the perimeter of the diner, including two curved glass windows on the front corner. The structure appears to be topped with a rubber roof. The property is otherwise entirely paved for use as an accessory parking lot and traffic circulation areas.

1951 Herr Street

This detached structure is a small convenience store incorporated into a larger gas station canopy and filling station islands. Character-defining features include: the wooden siding on the store; the gabled roof over the store; and the prominent blue band around the canopy awning. There are two main entrances into the store area, both featuring half-view metal doors. Fenestration also includes four plate-glass windows. The entire structure is topped with a metal roof. The property is otherwise entirely paved for use as an accessory parking lot and traffic circulation areas.

Although the diner structure is a relatively unique expression of its architectural style in the city, it does not reflect the character of the residential neighborhood to the south and west or the industrial area to the east. The structures have little architectural or historic value and do not contribute to the historic and architectural character of the streetscape.

ANALYSIS:

1. General Location/Neighborhood Impact

With respect to the purpose of the project, the Applicant has stated:

“Desire to construct at 5,150 s.f. convenience store and new fuel island after demolition of existing diner and gas station building.”

With respect to the impacts of the project on the neighborhood, the Applicant has stated:

“The project will provide opportunities for local employees. Will upgrade the existing properties and provide a local convenience store for the neighborhood. By eliminating 2 driveway entrances and repairing/replacing sidewalks, pedestrian safety is improved.”

With respect to proximity to an historic district, the Applicant has stated:

“The property is located outside a historic district.”

With respect to other considerations, the Applicant has stated:

“The existing utilities will be extended/modified on the property, but no new services are required from Capital Region.”

The Planning Bureau concurs with the Applicants that the project will represent an overall improvement to the neighborhood. Although the use will not be changing much, as the current project site primarily functions as a gas station with informal accessory parking areas, the development of a new building and gas station canopy on-site will enhance the aesthetics of the project site and furnish the neighborhood with better retail options. Additionally, the removal of curb cuts along Herr Street will improve the traffic safety for all users by better directing traffic circulation, removing vehicular/pedestrian conflict points, and creating more accessible sidewalks. The Bureau cannot confirm whether the project will result in new service requirements or development considerations from a water, sewer, or stormwater management perspective.

2. Zoning: Use and Development Standards

With respect to the current/previous use of the property, the Applicant has stated:

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“The existing diner on 1933 Herr Street is vacant. The gas dispensing station is in operation at 1951 Herr Street. The proposed uses are permitted in their respective zoning districts.”

With respect to whether the project meets applicable Zoning Code regulations, the Applicant has stated:

“It does.”

The Planning Bureau notes that the project site is unique in that it features a “split zoning,” as the property at 1933 Herr Street, which currently accommodates the vacant diner, is located in the Commercial Neighborhood (CN) zoning district while the property at 1951 Herr Street, which features the operating gas station, is located in the Industrial (IND) zoning district. Although “Convenience Stores with Gas Dispensing” uses are not permitted by right in the CN district, the development retains the filling station islands and canopy in the IND district, which such uses are permitted by right, while proposing the construction of a larger “Convenience Store” use in the CN district, in which such uses are also permitted by right. As such, the project is designed to be in conformance with the applicable regulations in Section 7-305.7 of the Zoning Code.

With respect to the Development Standards in Section 7-307.3 of the Zoning Code, the Bureau notes that almost the entirety of the site is currently paved with impervious surfaces to the property line on all sides of the project site. This establishes existing non-conforming aspects with respect to the setbacks that the project will continue in the proposed design. Given the provision of unusable space around the proposed convenience store structure on which grass and/or other landscaped areas can be installed, the project will also be in conformance with the impervious surface requirements.

With respect to conformance with the Specific Criteria for the proposed use, which are outlined in Section 7-309.2(r) of the Zoning Code, it appears that the project will be in conformance with the applicable regulations. Some aspects, such as the proximity of driveway curb cuts to intersections, represent existing non-conforming aspects of the property that would not be increased as part of the project and thus could be permitted. Other aspects, such as the provision of security cameras and trash receptacles, should be fairly straightforward although they would not necessarily appear on a site plan.

3. Zoning: Parking

The Applicant has stated:

“There are 32 parking spaces proposed mostly near the convenience store. That meets the requirements of one space per 75s.f. of retail space.”

As noted in the proposed site plan, the “retail area” in the proposed convenience store building is 2,400 square feet; as such, the 32 proposed off-street parking spaces will be in conformance with the application zoning regulations. Additionally, the two off-street ADA parking spaces included in the site plan will conform to the regulations in Chapter 7-327 of the Zoning Code. The Planning Bureau notes that the Applicants have not indicated that bike parking will be provided on-site, although such installations are required per Section 7-327.3(e)(1) of the Zoning Code.

4. Vehicular Access/Traffic Impact

The Applicant has stated:

“The depressed curbs for the diner access are to be removed and reinstalled, sidewalks to be repaired/replaced and connection to the existing PennDOT stormwater system will be submitted to PennDOT for approval.”

The Planning Bureau notes that there are currently five driveway curb cuts onto the property: two providing access to 1933 Herr Street and three providing access to 1951 Herr Street. This creates an unsafe and uncertain traffic circulation pattern for all road users. Per the proposed site plan, the three curb cuts onto Herr Street will be consolidated into a single curb cut which can be accessed directly from Arsenal Boulevard.

5. Pedestrian Access

As shown in the site photos taken by Planning Bureau, the existing pedestrian infrastructure around and through the site is either non-existent or in significant deterioration and not ADA-compliant in many areas. There are no direct pedestrian connections from surrounding sidewalks to the buildings on-site; people walking must cross through unmarked parking areas. As noted elsewhere in this case report, the project will improve pedestrian access and safety, by having the convenience store portion of the project located directly adjacent to a sidewalk and by removing/consolidating curb cuts to reduce the overall number of vehicular/pedestrian conflict points. One issue that the Bureau recommends be addressed by the Applicants is that the proposed crosswalk from project site to the north side of Herr Street be redesigned as a straight crosswalk (the current crosswalk is angled), to reduce the time pedestrians might be exposed to vehicular traffic, although it is acknowledged that this may have to be discussed with PennDOT through the HOP process. Given the above, the project will be a significant improvement in regards to pedestrian access.

6. Floodplain Issues

The Applicant has stated:

“No, the property is above the 100-year flood plain.”

The Planning Bureau notes that the property is located in the Zone X (No Floodplain) area per the current Flood Insurance Rate Maps (FIRM) dated August 12, 2012.

7. Utilities

The Applicants have stated:

“The existing utilities will be extended/modified on the property, but no new services are required from Capital Region.”

The Applicants have not submitted a formal Utilities Plan which addresses aspects such as sewer, water, and electrical connections to mains running through nearby rights-of-way. The Applicants have indicated that no new services are required from CRW, but that has not been confirmed by the Authority. It is reasonable to assume the Applicant will ensure that required utilities will be sufficient to meet the requirements of the utility providers and the building code regulations.

8. Landscaping

The Applicants have not submitted a Landscaping Plan as part of the overall plan set. Currently, there is some “natural” vegetation in the southwestern corner of the property, some of which will be removed for a new retaining wall along the southern boundary of the property. The Planning Bureau also notes that no landscaping or screening is proposed for the northern and eastern portions of the project site, although this will merely retain the existing configuration of the site and not result in a new deviation from the Zoning Code which requires zoning relief. The Bureau recommends that the Applicants provided a proposed landscaping plan for the area around the convenience store building.

9. Lighting

The Applicant has submitted an Illumination Plan (Sheet 8 of 8 in the Plan Set) which indicates that there will be four external lights around the perimeter of the building, as well as three new sixteen-foot-high LED light posts installed; however, the Applicants have not provided a photometric plan which indicates whether there will be any light spillover into adjacent properties. The Planning Bureau notes that a photometric plan is required to affirm whether the light generated by the project will conform to the Environmental Performance Standards regulations in Section 7-333.9 of the Zoning Code, or whether relief from those regulations is necessary.

10. Stormwater Management

The Applicant has submitted a Post-Construction Stormwater Management Plan, as well as details of the proposed stormwater management infrastructure, although the Planning Bureau is unsure of whether information provided is sufficient for CRW to make a formal recommendation on the project. The Bureau notes that CRW has not provided a formal response to the plan submission with respect to stormwater management, but that approvals from that entity will be required before the Applicant can move forward with the project

11. Property Address(es)

The Lot Consolidation & Land Development Plan application indicates that the address of the primary parcel is 1951 Herr Street, although they do not indicate in either the application or the plan set what the final address will be. The Planning Bureau is unsure of what property address the Applicant intends on submitting that address to the County.

12. Economic Development

The Applicant has stated the following:

Construction Value of Project: \$1.5 million

Total Value of Project: \$2.0 million

Number of construction jobs: 16

Number of new, permanent, full-time living wage jobs: 8

Number of new, permanent, full-time and part-time jobs: 2

The Planning Bureau also notes that the Applicants have indicated that the real estate tax figures will not change as part of this project.

With respect to MBE/WBE participation, the Applicants have not provided information on this aspect of the project.

CITY DEPARTMENT COMMENTS:

- **City Engineer:** Included as an attachment
- **Capital Region Water:** Currently under review
- **Fire Bureau:** No issues; recommendation for approval
- **Police Bureau:** No issues; recommendation for approval
- **Codes Bureau:** No issues; recommendation for approval
- **Law Bureau:** Currently under review

DAUPHIN COUNTY PLANNING COMMISSION RECOMMENDATION:

The Dauphin County Planning Commission are included as an attachment.

PLANNING BUREAU RECOMMENDATION:

Approval with Conditions

Planning Bureau staff recommends the request be **Approved** with the following condition(s):

1. The Applicants must address the comments from the City Engineer's Office prior to the application being heard by City Council; this includes aspects such as the proposed retaining wall; truck circulation on-site; PennDOT approval of a Highway Occupancy Permit (HOP); and approval from Capital Region Water (CRW). This also includes the provision of a photometric plan to confirm that the site lighting will be in conformance with the Environmental Performance Standards in Chapter 7-331 of the Zoning Code.
2. The Applicant will reconstruct or install new, ADA-compliant sidewalks along the northern, and eastern frontages of the project site, as well as appropriate curb face reveals, and the vehicular access will be treated as a driveway curb cut, in which the driveway elevates to the height of the sidewalk. The Applicants should provide a direct pedestrian connection to the sidewalk along Herr Street.

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3. The Applicant must provide bike racks on-site; the Bureau recommends that these be installed near the entrance to the convenience store and accessible from the Herr Street sidewalk.
4. Any new signage on-site will be in conformance with the applicable regulations of the Zoning Code or, if not, will receive approval for a zoning relief request, as necessary, from the Zoning Hearing Board.
5. The Applicant should provide a landscaping plan indicating whether any landscaping will be installed in the areas around the proposed convenience store building.
6. The Applicants should consider the inclusion of publicly-accessible EV chargers on-site, to accommodate the growing number of electric vehicles, and also in consideration of the property's proximity to Interstate 81.

Planning Bureau staff recommends the request be **Approved** for the following reason(s):

1. The proposed development will replace two deteriorated and underutilized structures that have had a blighting influence on the streetscape and will construct a new "Convenience Store" use that will enhance retail options for surrounding residents and workers.
2. Approval of the proposal will not alter the essential character of the neighborhood and will provide benefits such as increased permanent job opportunities and temporary construction jobs.
3. The project will result in the removal of several unnecessary curb cuts along Herr Street, clarifying vehicular access to the site, removing vehicular/pedestrian conflict points, and making access and circulation safer for all road users.

REVIEW PROCESS:

1. Planning Bureau review of application and development of case report with recommendation to Harrisburg Planning Commission (HPC).
2. Dauphin County review of application and submittal of comments to Planning Bureau.
3. Harrisburg Planning Commission review of application and recommendation to Harrisburg City Council.
4. Harrisburg City Council review of application and final decision.
5. Submittal of Building Permit application to the Codes Bureau for proposed work.
6. Ongoing Codes Bureau/Health Officer/Planning inspections of work being performed.

ATTACHMENTS:

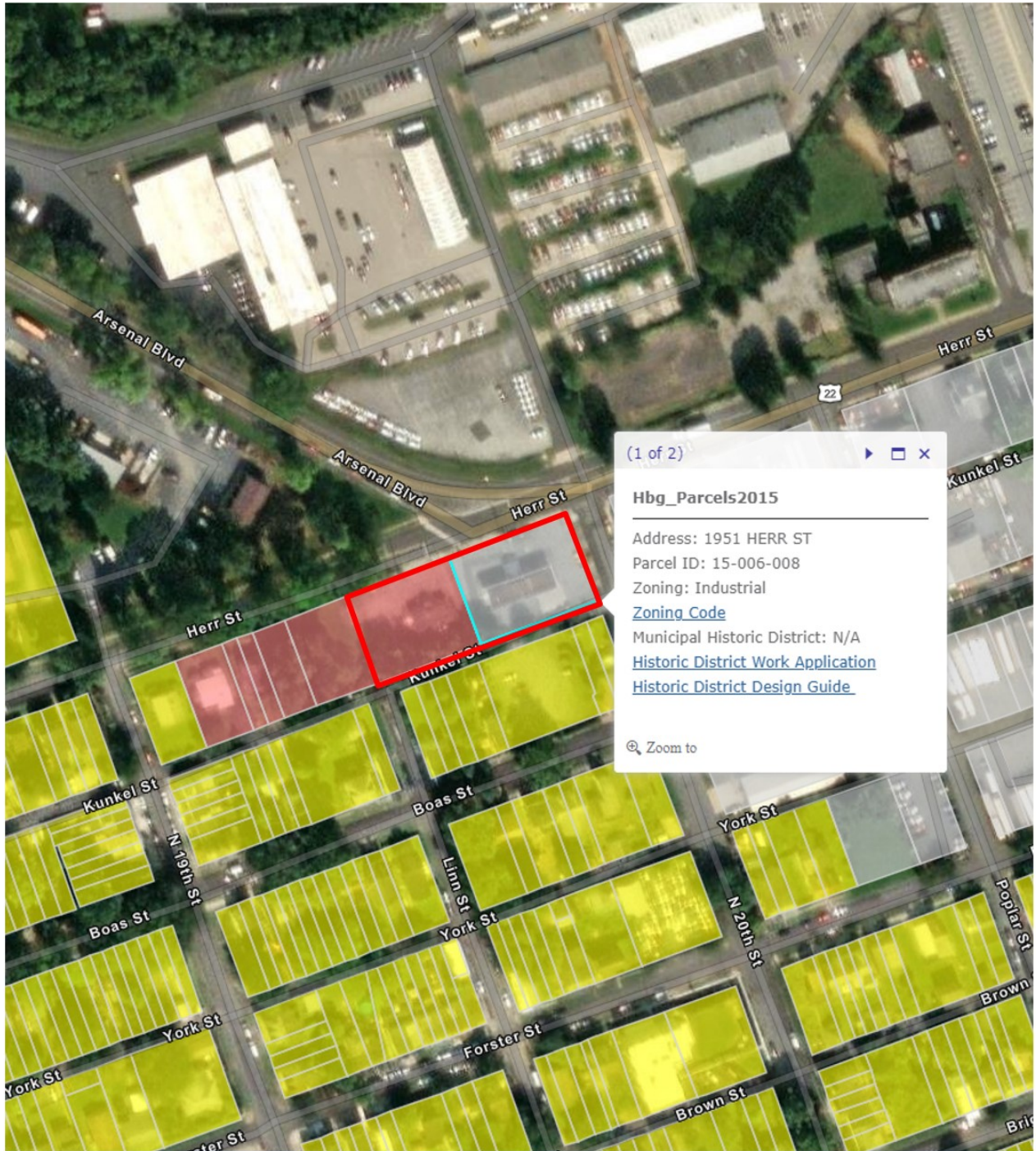
1. Site Photos taken by Planning Bureau staff
2. Zoning & Location Map
3. Preliminary/Final Lot Consolidation & Land Development Plan Application
4. Lot Consolidation & Land Development Plan Set
5. DCPC review, dated May 30, 2023
6. City Engineer's review, dated May 25, 2023

PROPERTY PHOTOS: 1933 Herr Street



PROPERTY PHOTOS: 1951 Herr Street





Zoning & Location Map
1933 & 1951 Herr Street
Commercial Neighborhood (CN) & Industrial (IND)



City of Harrisburg Subdivision and/or Land Development Application

Note: The Planning Bureau must review all applications for completeness; incomplete applications may cause a delay in processing.

Contact Dave Clapsaddle at 717-255-6635 or dwclapsaddle@harrisburgpa.gov to schedule a meeting.

Project Name or Plan Title

Final Subdivision and Land Development Plan: 1933-1951 Herr Street

Primary Property Address

1951 Herr Street, Harrisburg, PA 17103

Primary Tax Parcel ID Number

15-006-008

Please List All Property Addresses And Tax Parcel ID Numbers Involved In The Project (Use Additional Sheets If Necessary)

1933 Herr Street, Harrisburg - 15-006-007
1951 Herr Street, Harrisburg - 15-006-008

Zoning District(s)

CN
IND

Application Type (check one):

- | | |
|--|--|
| <input type="checkbox"/> Lot Add-On Plan (Lot Consolidation) | <input type="checkbox"/> Sketch Plan |
| <input type="checkbox"/> Preliminary Subdivision | <input type="checkbox"/> Preliminary Land Development |
| <input type="checkbox"/> Final Subdivision | <input type="checkbox"/> Final Land Development |
| <input type="checkbox"/> Combined P/F Subdivision | <input type="checkbox"/> Combined P/F Land Development |

Combined P/F Subdivision & LDP

P/F Subdivision/LDP Approval Extension Waiver

Project Narrative

Please answer each of the following questions/statements. Provide as much information and be as specific as possible. (Use additional sheets if necessary)

1. What is the purpose of this project?

Desire to construct a 5,150 s.f. convenience store and new fuel island after demolition of the existing diner and gas station building.

2. Describe the current or previous use of the property. Is the proposed use permitted in the current zoning district?

The existing diner on 1933 Herr Street is vacant. The gas dispensing station is in operation at 1951 Herr Street. The proposed uses are permitted in their respective zoning districts.

3. Describe the impacts of the project on the neighborhood.

The project will provide opportunities for local employees.

Will upgrade the existing properties and provide a local convenience store for the neighborhood.

By eliminating 2 driveway entrances and repairing/replacing sidewalks, pedestrian safety is improved.

4. How many off-street parking spaces are being proposed for the use? Where are they being provided?

There are 32 parking spaces proposed mostly near the convenience store. That meets the requirements of one space per 75 s.f. of retail space.

5. Does this project meet all applicable requirements of the zoning code?

It does.

6. How will pedestrians and/or vehicles access the property? Have all proposed curb cuts and right-of-way improvements received approvals from the City Engineer? Have any requisite Highway Occupancy Permits received approvals from PennDOT?

The depressed curbs for the diner access are to be removed and reinstalled, sidewalks to be repaired/replaced and connection to the existing PennDOT stormwater system will be submitted to PennDOT for approval.

7. Is the property located in a Special Flood Hazard Area, i.e. a Zone A (100-Year) or Zone X (500-Year) Floodplain? If so, have you received the appropriate approvals from the Floodplain Administrator?

No, the property is above the 100-year flood plain.

8. Is the property located in a historic district? If so, will there be any exterior alterations and have you discussed these issues with the Planning Bureau?

The property is located outside a historic district.

9. Please provide any additional information you feel is pertinent to the application.

The existing utilities will be extended/modified on the property, but no new services are required from Capital Region.

<p>What Waivers Are Being Requested? Use the attached checklist to determine the waivers you are requesting.</p> <p>None.</p>
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Subdivision and Land Development Application

3

Applicant

Name Nirmal Singh & Mohinder Kaur Gill
Company M&N, Inc.
Address 1949 Monterey Drive
Mechanicsburg, PA 17050
Phone 717-645-4718
Email agll365@yahoo.com

Applicant's Status

(Circle or Check One)

- Owner
- Lessee
- Equitable Owner
- Contract Purchaser

Main Contact for the Project

Name Max E. Stoner, P.E.
Company Glance Associates, Inc.
Address 3705 Trindle Road
Camp Hill, PA 17011
Phone 717-731-1579
Email max@glanceeng.com

Site Plan Designer

Name Max E. Stoner, P.E.
Company Glance Associates, Inc.
Address 3705 Trindle Road
Camp Hill, PA 17011
Phone 717-731-1579
Email max@glanceeng.com

Property Owner

Name Nirmal Singh & Mohinder Kaur Gill
Company M&N, Inc.
Address 1949 Monterey Drive
Mechanicsburg, PA 17050
Phone 717-645-4718
Email agll365@yahoo.com

Subdivision and Land Development Application

4

Please provide the following information about this project:

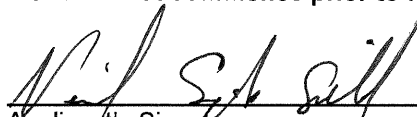
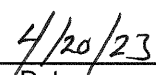
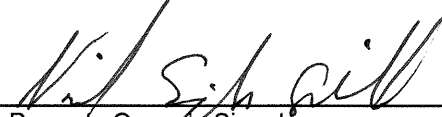
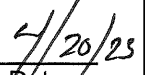
1) Square footage of non-residential buildings	5,150	sq. ft.
2) Number of resulting lots	1	lots
3) Number of buildings / units to be built	1 # of buildings	1 # of units
4) Is a new street proposed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	4a) How many lineal feet will it be? 2570 (0) Feet	
4b) If so, what is the proposed name for the new street? NA		
5) Will you have MBE/WBE participation in the project? If so, in what capacity?		
6) Economic Analysis: Construction Value of Project: \$ 1.5 million		
Total Value of Project: \$ 2.0 million		
Current Real Estate Taxes paid: City \$ 2,000 School \$ 6,000 County \$ 1,000		
Expected Taxes upon completion (after any tax abatement) City \$ 2,000 School \$ 6,000 County \$ 1,000		
Number of construction jobs: 16		
Number of new permanent jobs: Full-time living wage 8 Other Full-time 0 Part-time 2		

Items to be submitted with this Application (Failure to do so WILL delay the review process)

- Check made payable to the "City Treasurer" for the correct amount (see the fee schedule)
 - Erosion & Sedimentation Plan and/or NPDES Permit
 - Dauphin County Planning Commission application and fee (check made payable to "Dauphin County Planning Commission")
 - Landscaping Plan
 - Twenty-one (23) copies of the plans:
Four (4) sets of 24" x 36"
Eleven (11) sets of 11" x 17" or half size
Eight (8) additional sets of 11" x 17" will be required prior to City Council review (should include City Staff and HPC revisions)
 - Lighting Plan
 - Stormwater management plans
 - Completed Checklist (use attached document)
 - Parking and circulation plan
 - Narrative description of the project (Please answer all questions with as much detail as possible.)
 - Traffic Study (if required by the City Engineer)
 - Elevation drawings including all visible sides and façade materials
 - Electronic copies on a disk of all material - Two copies. One for the City of Harrisburg and one for Dauphin County Planning Commission. (All layers shall be in Microstation and GIS format.)
 - A D.E.P. Sewer Module or Waiver
- If already submitted, please note the submittal date:

APPLICANT / OWNER CERTIFICATION

I hereby certify that the proposed work is authorized by the owner of record and that I agree to conform to all applicable laws of this jurisdiction. I understand that any falsification could lead to denial or criminal penalties, or revocation of any permit pursuant to this application. I agree that work will not commence prior to final approval.

			
Applicant's Signature	Date	Property Owner's Signature	Date

The owner must sign this application. The applicant signature is required when different from owner.



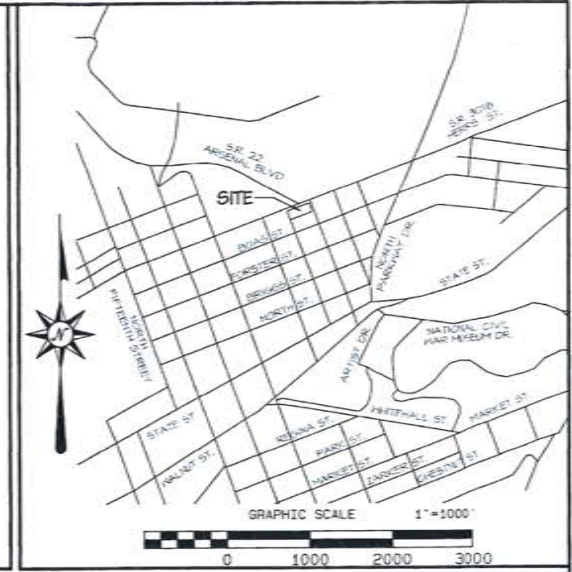
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

1933-1951 HERR STREET

FOR

NIRMAL SINGH & MOHINDER KAUR GILL

Sited in
15th Ward Of The City of Harrisburg
Dauphin County, Pennsylvania



OWNER CERTIFICATION

It is hereby certified that the undersigned is the owner of the within plot and that all streets or parts of streets and not previously dedicated are hereby tendered for dedication to public use.

Owner: Nirmal Singh Gill
Mohinder Kaur Gill
NIRMAL SINGH GILL
MOHINDER KAUR GILL

CROSS EASEMENT AGREEMENT

The owners/developers do hereby reserve the right for The City of Harrisburg and their representatives to exercise the full property shown here in for the purpose of inspecting the operation and maintenance of existing stormwater facilities. This shall include all rights of ingress and egress over and upon the roadway, sidewalk, and parking areas which shall be designated as common use easement areas. All existing stormwater facilities including of storage sumps, stormwater trenches, collection conveyance systems and outfalls shall be determined as part of the stormwater easement.

Nirmal Singh Gill Mohinder Kaur Gill
NIRMAL SINGH GILL MOHINDER KAUR GILL

OWNER'S ACKNOWLEDGEMENT

Nirmal Singh Gill and Mohinder Kaur Gill hereby acknowledge that the stormwater BMPs are fixtures that cannot be altered or removed without prior approval of the Municipality and Record Drawings will be provided for all stormwater management facilities prior to occupancy or the release of financial security.

NOTARY CERTIFICATION

Commonwealth of Pennsylvania
County of Dauphin
On this 21 day of April, 2023 before me, the undersigned personally appeared

Owner(s) Nirmal Singh Gill Mohinder Kaur Gill
NIRMAL SINGH GILL MOHINDER KAUR GILL
who being duly sworn according to law depose and say that they are the owners of the property shown on this plan and that they acknowledge the same to be their own to be recorded as such according to lawfulness my hand and seal this day and date written, and plan and desire the same.

Commonwealth of Pennsylvania - Notary Seal
Phoenyx Bowman, Notary Public
Dauphin County
My commission expires January 28, 2027
Commission number 1287982

Phoenyx Bowman
NOTARY PUBLIC

DAUPHIN COUNTY PLANNING COMMISSION

This plan reviewed by the Dauphin County Planning Commission this ___ day of ___ 2023.

Chairman _____
Secretary _____

CITY OF HARRISBURG ENGINEER

This plan reviewed by the City of Harrisburg Engineer this ___ day of ___ 2023.

City Engineer _____

CITY OF HARRISBURG PLANNING COMMISSION

This plan recommended for approval by the City of Harrisburg Planning Commission this ___ day of ___ 2023.

Chairman _____
Secretary _____

COUNCIL OF THE CITY OF HARRISBURG

This plan approved by Council of the City of Harrisburg this ___ day of ___ 2023.

Nonda R. D. Williams Mayor
Danielle Bowers Council President Michael J. Parker City Clerk

GENERAL NOTES:

- This plan is being prepared for the proposed construction of a 5150 SF. Convenience Store.
- The Existing Lots are serviced by Public Sewer and Water through Capital Region Water.
- Dauphin County Tax Parcel No. 05-006-0071b-006-008.
- Benchmark: Top Of Bolt North East Side Of Retail Sign Ele-403.82 (NAVD 88).
- Deed Reference:
15-006-007 Nirmal Singh & Mohinder Kaur Gill Instrument No.2011008216
15-006-008 Mohinder Kaur Gill Instrument No.20060041440
- Existing land use:
15-006-007 (Restaurant)
15-006-008 (Convenience Store)
- The lot owner will be responsible for the implementation and maintenance of the erosion and sedimentation control devices.
- Off street parking will be provided on consolidated lot.
- The stormwater BMPs are fixtures that cannot be altered or removed without prior approval by The City of Harrisburg.
- Area of Earth Disturbance - 0.1 Acres
- See the Operation and Maintenance Agreement.
- The operation and maintenance agreement is part of the SSM Site Plan.
- Record Drawings will be provided for all stormwater management facilities prior to occupancy or the release of financial security.
- Proposed wall pack and canopy lighting shown on Plan Sheet No.8.
- No new zoning approvals required.
- No waivers are being requested.

PUBLIC UTILITIES:

Capital region water
3003 North Front St.
Harrisburg Pa 17110
Thomas York
thomas.york@capitalregionwater.com
(717)-216-5260

City of Harrisburg
1002 North 7th St.
Harrisburg Pa 17104
Yafafiner@harrisburgpa.gov
(717)-851-5157

PEI - Electric Utilities Corporation
454 Susquehanna Blvd
Northumberland, Pa 17857
Doug Haupt
dhaupt@pei.com
(610)-291-2461

USI Utilities Inc.
1301 Alp Dr.
Middleton Pa 17057
Stephen Boteman
sboteman@usi.com
(610)-807-3774

SITE DATA:

OWNER: Nirma. singh & Mohinder kaur Gill. M/N/Inc.
Phone: (717)-645-4718

MAILING ADDRESS:
1949 Monterey Drive
Mechanicsburg Pa 17050

SITE ADDRESS:
1951 Herr St.
Harrisburg Pa 17103

Zoning:
(CN) Commercial Neighborhood (15-006-007)
(IND) Industrial (15-006-008)

Land Uses: Convenience Store with Gas Dispensing

MINIMUM BUILDING SETBACKS:
Commercial Neighborhood Front 5'Side-4 Rear-5'
Zone: Industrial Front-10'Side-9'Rear-5'

MIN. LOT WIDTH:
Commercial Neighborhood 20'
Industrial 30'

MIN. LOT AREA:
Commercial Neighborhood 2,000SF. Non-Residential
Industrial 5,000 SF.

Building coverage:
Commercial Neighborhood 45%
Industrial 75%

PARKING REQUIREMENTS:
1 space for every 75 sq. ft. of retail floor area
2,400 SF / 75 = 32 Parking spaces
32 Parking Spaces Proposed

Maximum Building Height:
Commercial Neighborhood 15' max
Industrial - No max

SHEET INDEX:

SHEET 1: LD1	LAND DEVELOPMENT PLAN COVER SHEET
SHEET 2: LD2	EXISTING CONDITIONS PLAN
SHEET 3: LD3	DEMOLITION PLAN
SHEET 4: LD4	LOT CONSOLIDATION PLAN
SHEET 5: LD5	PROPOSED CONDITIONS
SHEET 6: PCI	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
SHEET 7: ESI	EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 8: ILI	ILLUMINATION PLAN
SHEET 9: A2.1	ARCHITECTURAL
SHEET 10: A2.2	ARCHITECTURAL

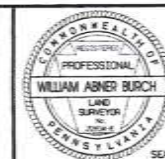
RECORDER OF DEEDS CERTIFICATE

Recorded in the office for recording deeds, in and for Dauphin County, Pennsylvania in
Instrument Number _____
This _____ day of _____ 2023

LAND SURVEYOR'S CERTIFICATION

I William A. Birch, hereby certify that, to the best of my knowledge, the survey shown and described herein is true and correct to the accuracy required by the City of Harrisburg subdivision and land development ordinance.

William A. Birch 4/21/23
William A. Birch PA Lic No. 22884-E Date



CIVIL ENGINEER'S CERTIFICATION

I Max E. Stoner, hereby certify that, to the best of my knowledge, this plan is accurate and correct as indicated.

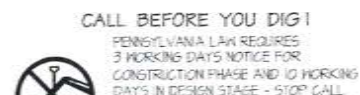
Max E. Stoner 4/21/23
Max E. Stoner PA Lic No. PE03110E Date



STORMWATER CERTIFICATION

I Max E. Stoner, hereby certify that the stormwater management site plan meets all design standards and criteria of CRWB wastewater and stormwater rules and regulations.

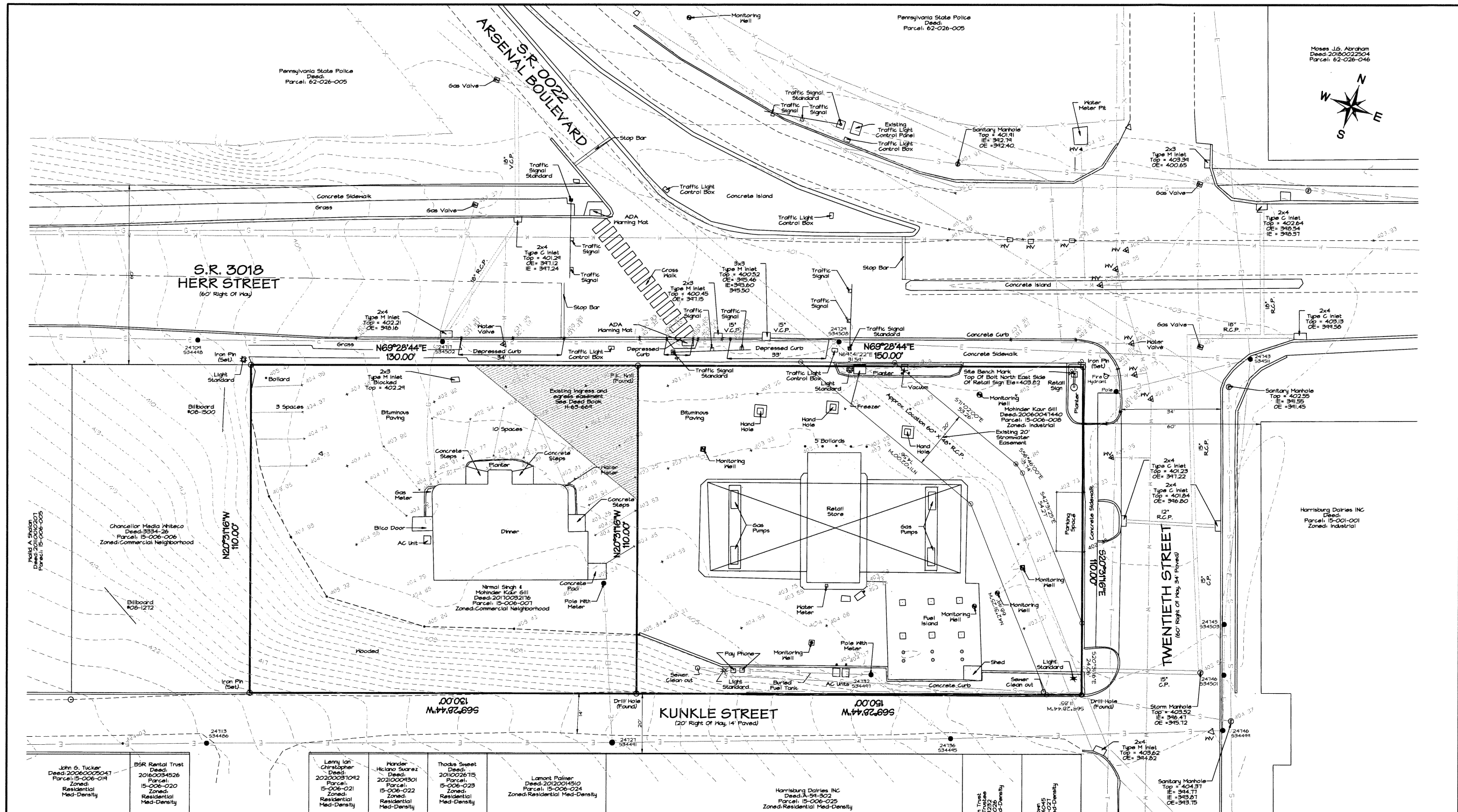
Max E. Stoner 4/21/23
Max E. Stoner PA Lic No. PE03110E Date



PA 1
CALL SYSTEM INC.
1-800-242-1176
Serial #20220659724

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NIRMAL SINGH & MOHINDER KAUR GILL CITY OF HARRISBURG DAUPHIN COUNTY, PENNSYLVANIA	
SUBDIVISION AND LAND DEVELOPMENT PLAN 1933-1951 HERR STREET HARRISBURG, PA 17103	
GLACE ASSOCIATES, INC. CONSULTING ENGINEERS CHRYL HILL, PENNSYLVANIA	
DRAWN BY:	APPROVED:
DESIGNED BY:	SCALE: AS NOTED
CHECKED BY:	FILE CODE: LD1
DATE: 4/21/23	8322201
FILE NAME: BLANK TITLE BLOCK2000.DWG	DRAWING NO. LD1
FILE DATE: 4/14/2023 7:50 AM	SHEET 1



NIRMAL SINGH & MOHINDER KAUR GILL
CITY OF HARRISBURG
DAUPHIN COUNTY, PENNSYLVANIA

EXISTING CONDITIONS
1933-1951 HERR STREET
HARRISBURG, PA 17103

GLACE ASSOCIATES, INC.
CONSULTING ENGINEERS
CAMP HILL, PENNSYLVANIA

DRAWN BY:	APPROVED:	SCALE:	DRAWING NO.
DESIGNED BY:	ENGINEER:	AS NOTED	LD2
CHECKED BY:	DATE:	FILE CODE:	SHEET 2
		8322201	

LEGEND

<ul style="list-style-type: none"> ⊠ Sign ⊙ Spot Elevation ⊗ Proposed Elevation — Overhead Telephone Line — Underground Telephone Line — Overhead Electric Line — Underground Electric Line — Existing Waterline ⊙ Light Standard ⊙ Property Corner ⊙ Monitoring Well ⊙ RCE Rock Construction Entrance 	<ul style="list-style-type: none"> — Right of Way — Fence Line ⊙ Deep Probe ⊙ Unusable Probe ⊙ Shrub ⊙ Utility Pole ⊙ Concrete Monument ⊙ Property Adjunction ⊙ Flag Pole ⊙ Traverse Point ⊙ Soil Types ⊙ Building Setback Line ⊙ 12" Silt Sock ⊙ Existing Contour ⊙ Proposed Contour ⊙ Drainage Swale ⊙ Water Valve
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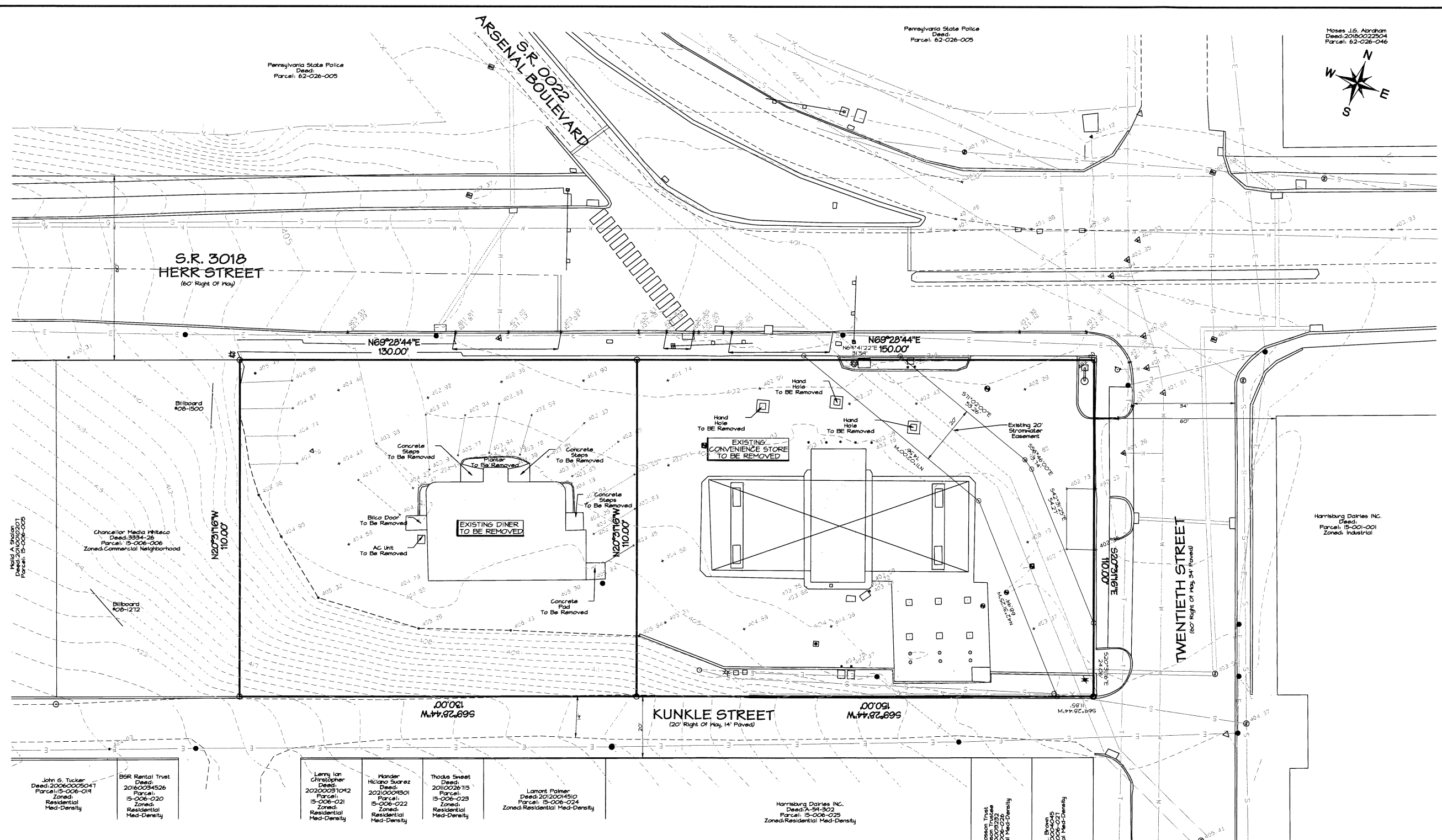
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NOTE: utility line must be verified no under ground markings done prior to survey Locations based on above ground observations



CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

PA 1
CALL SYSTEM, INC.
1-800-242-1116
Serial #20221653124



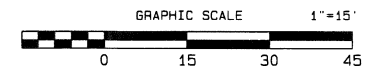
GENERAL DEMOLITION NOTES:

1. Demolition plans indicate some of the scope-of-work involved for the demolition phase of this project. Contractor shall review all sheets for additional demolition scope.
2. Contractor shall verify existing site and building conditions and dimensions in the field prior to demolition activities and work.
3. Contractor shall notify architect of any discrepancies in writing.
4. Contractor shall notify architect and owner of any possible asbestos containing materials discovered before proceeding with work.
5. Contractor shall obtain all necessary permits before commencing work.
6. After award of the contract, change order requests for additional money will not be approved if the work could have been anticipated during a site visit by the contractor.
7. Contractor shall not scale drawings.
8. Contractor shall provide all necessary temporary shoring, temporary bracing, and/or temporary supports as required to maintain structural integrity of existing structure to remain and/or existing building elements to remain.
9. Contractor is to verify the exact location of all existing utilities prior to demolition activities and work.
10. Contractor shall remove trash and debris regularly as necessary to eliminate interference with roads, streets, walks, and all other adjacent facilities.
11. Contractor shall remove trash and debris from the site on a daily basis.
12. Contractor shall repair, replace, or patch existing buildings, driveways, sidewalks, canopies, and/or parking areas damaged, modified, and/or disturbed by demolition work at no cost to the owner.
13. All existing equipment that remains shall be protected during demolition and/or construction to prevent damage. Any damage to remaining existing equipment sustained during demolition and/or construction shall be equivalently replaced or equivalently repaired at no cost to the owner.
14. Contractor shall provide traffic handling measures to protect the general public at all times, as necessary and as required by authorities having jurisdiction.

15. Do not interrupt existing utilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to authorities having jurisdiction.
16. When utility services are required to be removed, relocated, or abandoned, provide bypass connections to maintain continuity of service before proceeding with demolition. Contractor shall contact all utility companies including but not limited to the following: electric, gas, water, telephone, storm sewer, and sanitary sewer for field location of all underground and overhead utility lines. Prior to commencement of any demolition work, contractor shall identify all electrical circuits servicing the area involved with this demolition. Those circuits shall then be locked out and tagged out if they do not service any of the remaining building. Those circuits which are identified to service both the area to be demolished and the remaining building shall be split so as to kill all electrical power to the area to be demolished while maintaining power to the remainder of the building.
17. Protect existing site elements and existing landscaping to remain. Protection shall include but not be limited to existing trees and other existing vegetation indicated to remain in place against unnecessary cutting, breaking, or skimming of roots, skimming or bruising of bark, smothering of trees by stockpiling construction material or excavated material within drip lines.
18. Contractor shall regrade and hydromulch areas affected by demolition.
19. Owner has right of first refusal of all items removed as part of the scope of work, whether identified as salvage or not.
20. Notify the building owner of any materials, fixtures, etc. to be removed that are deemed salvagable. Turn over any requested items to the building owner in good and clean condition.
21. All furniture will be removed or relocated by the owner as necessary prior to the demolition work of this project. Contractor shall coordinate with owner as required.
22. Remove existing construction to the extent indicated on the drawings. Should any damage occur to any existing construction to remain, the contractor shall repair the damage to match existing and/or adjacent construction at no cost to the owner.

RECYCLING AND DISPOSAL OF BUILDING MATERIALS AND WASTES:

The operator shall remove from the site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq., 2711 et seq., and 2801 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes at the site.



LEGEND

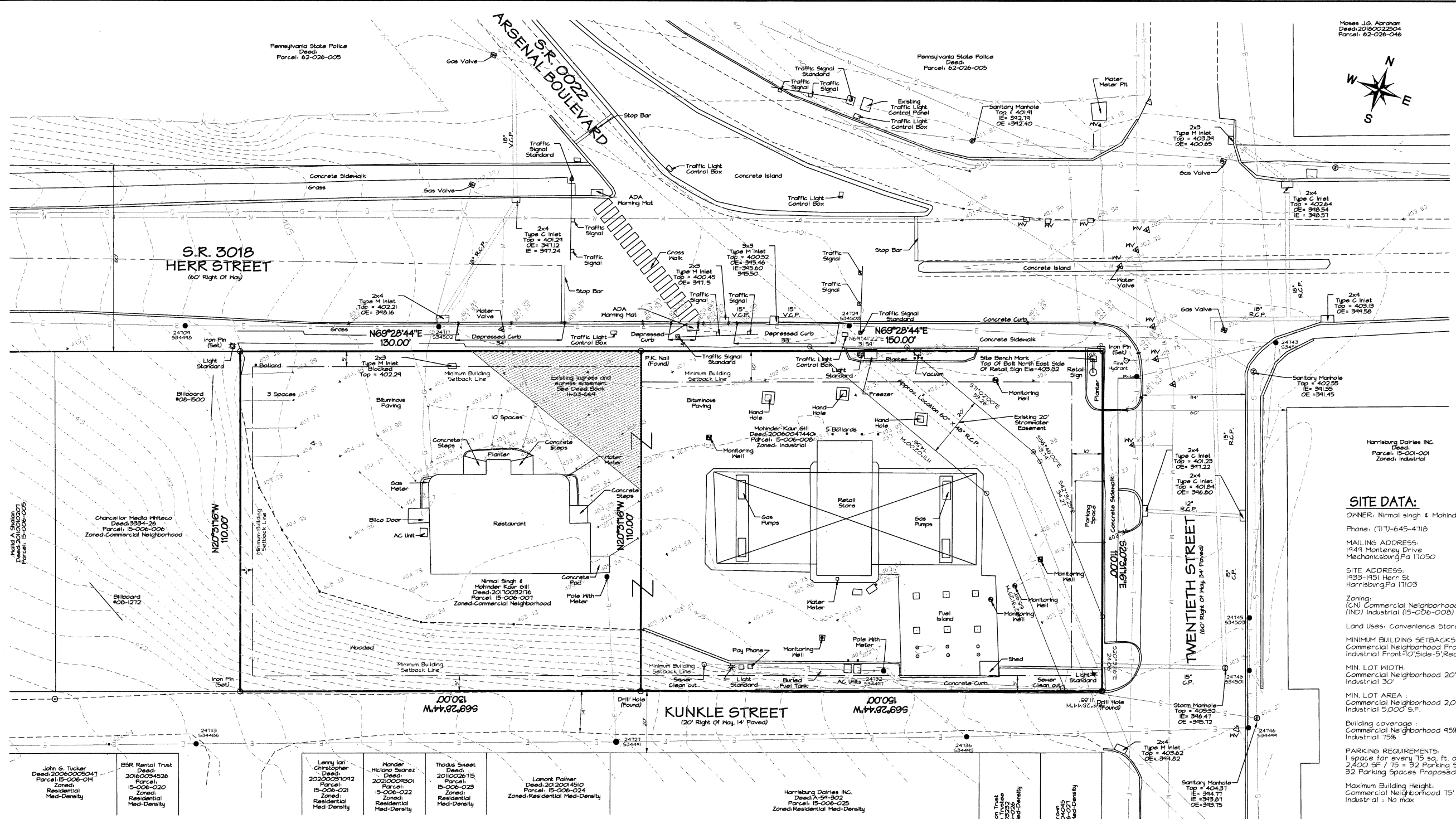
- Right of Way
- Fence Line
- ▲ Deep Probe
- Unsuitable Probe
- shrub
- Utility Pole
- Concrete Monument
- Property Adjacent
- Flag Pole
- Traverse Point
- 12" Silt Sox
- Proposed Contour
- Drillage Swale
- Overhead Electric Line
- Overhead Telephone Line
- Underground Electric Line
- Underground Telephone Line
- Existing Haterline
- Light Standard
- Property Corner
- Existing Contour
- Monitoring Well
- Rock Construction Entrance

MARK	REVISIONS	DATE

NIRMAL SINGH & MOHINDER KAUR GILL CITY OF HARRISBURG DAUPHIN COUNTY, PENNSYLVANIA		
DEMOLITION PLAN 1933-1951 HERR STREET HARRISBURG, PA 17103		
GLACE ASSOCIATES, INC. CONSULTING ENGINEERS CAMP HILL, PENNSYLVANIA		
DRAWN BY:	APPROVED:	SCALE:
DESIGNED BY:	ENGINEER:	AS NOTED:
CHECKED BY:	DATE:	FILE CODE:
FILE NAME: BLANK TITLE BLOCK2000.DWG	FILE DATE: Jan/16/2023 7:50 AM	8322201
DRAWING NO.	SHEET 3	

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Moses J.G. Abraham
Deed: 20180022504
Parcel: 62-026-046



SITE DATA:

OWNER: Nirmal Singh & Mohinder Kaur Gill
Phone: (717)-645-4718
MAILING ADDRESS:
1944 Monterey Drive
Mechanicsburg, PA 17050
SITE ADDRESS:
1933-1951 Herr St
Harrisburg, PA 17103
Zoning:
(CN) Commercial Neighborhood (15-006-007)
(IND) Industrial (15-006-008)
Land Uses: Convenience Store with Gas Dispensing
MINIMUM BUILDING SETBACKS:
Commercial Neighborhood Front-5' Side-4' Rear-5'
Industrial Front-10' Side-5' Rear-5'
MIN. LOT WIDTH:
Commercial Neighborhood 20'
Industrial 30'
MIN. LOT AREA:
Commercial Neighborhood 2,000 SF. Non-Residential
Industrial 5,000 SF.
Building coverage:
Commercial Neighborhood 45%
Industrial 75%
PARKING REQUIREMENTS:
1 space for every 15 sq. ft. of retail floor area
2,400 SF / 15 = 32 Parking Spaces
32 Parking Spaces Proposed
Maximum Building Height:
Commercial Neighborhood 15' max
Industrial: No max

AREA TABULATION:

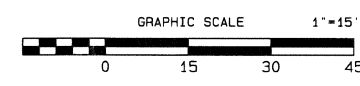
Parcel 15-006-007 14,300 S.F. Or 0.328 Acres
Parcel 15-006-008 16,500 S.F. Or 0.378 Acres
Total parcel Area 30,800 S.F. Or 0.706 Acres

GENERAL NOTES:

- This plan is being prepared for the purpose of consolidating tax parcels 15-006-007 & 15-006-008 into tax parcel 15-006-009, known as 1933 & 1951 Herr Street.
- The Existing Parcels are serviced by Public Water and Public Sewer.
- Dauphin County Tax Parcel No. (15-006-007 & 15-006-008)
- Deed Reference: Nirmal Singh & Mohinder Kaur Gill
15-006-008 Instrument No. 20060041440
15-006-007 Instrument No. 20110032176
- Existing land use:
15-006-008 (Convenience Store with Gas Dispensing)
15-006007 (Restaurant)
- Benchmark: Top Of Bolt North East Side Of Retail Sign Ele=403.82 (NAVD 88)
- Off street parking will be provided on Lot



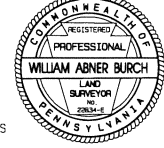
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PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PA 1
CALL SYSTEM, INC.
1-800-242-4776
Serial #20221653129



LEGEND

—	Right of Way
—	Fence Line
X 100.00	Spot Elevation
X 100.00	Proposed Elevation
—	Overhead Telephone Line
—	Underground Telephone Line
—	Overhead Electric Line
—	Underground Electric Line
—	Existing Waterline
—	Proposed Waterline
—	Light Standard
—	Property Corner
—	Existing Contour
—	Monitoring Well
—	Drainage Swale
—	Rock Construction Entrance
—	Utility Pole
—	Concrete Monument
—	Property Adjacent
—	Flag Pole
—	Traverse Point
—	Soil Types
—	Building Setback Line
—	12" Silt Sock
—	Proposed Contour
—	Drainage Swale
—	Water Valve

I hereby certify this plan to be correct as shown and the survey meets all accuracy requirements.

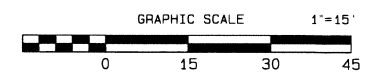
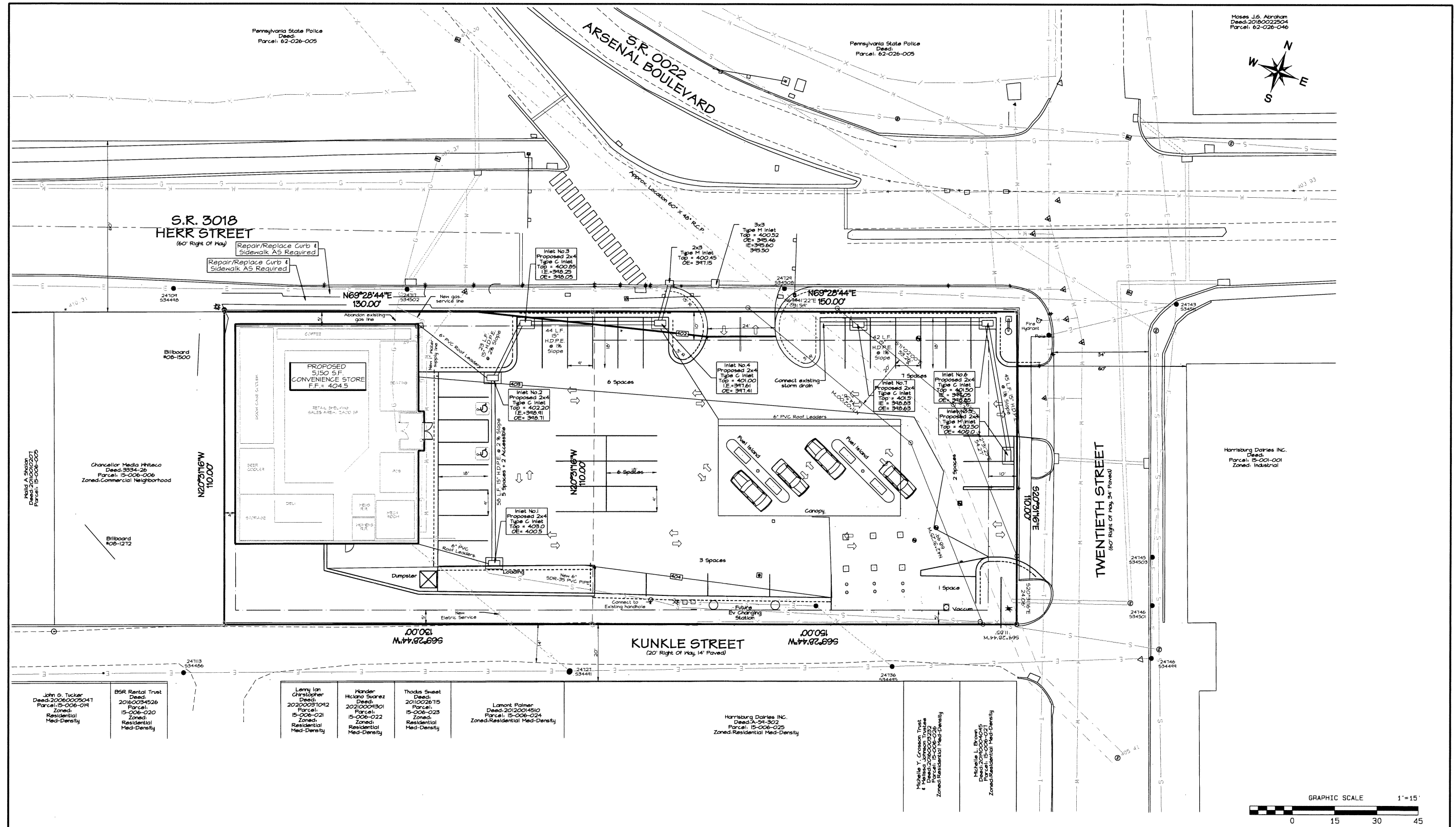


William A. Burch
Pa. Lic. No. 22834-E
BURCH ASSOCIATES
Property & Engineering Surveys
340 Bernsburg Road Suite 1
Millersburg, PA 17061
Phone: (717) 642-2214

MARK	REVISIONS	DATE

NIRMAL SINGH & MOHINDER KAUR GILL CITY OF HARRISBURG DAUPHIN COUNTY, PENNSYLVANIA			
LOT CONSOLIDATION PLAN 1933-1951 HERR STREET HARRISBURG, PA 17103			
GLACE ASSOCIATES, INC. CONSULTING ENGINEERS CAMP HILL, PENNSYLVANIA			
DRAWN BY:	APPROVED:	SCALE:	DRAWING NO.
DESIGNED BY:	ENGINEER:	AS NOTED	LD4
CHECKED BY:	DATE:	FILE CODE:	8322201
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- LEGEND**
- Right of Way
 - Fence Line
 - Spot Elevation
 - Proposed Elevation
 - Overhead Telephone Line
 - Underground Telephone Line
 - Overhead Electric Line
 - Underground Electric Line
 - Existing Interstate
 - Light Standard
 - Property Corner
 - Existing Contour
 - Monitoring Well
 - Rock Construction Entrance
 - Concrete Curb
 - Right of Way
 - Deep Probe
 - Unstable Probe
 - shrub
 - Utility Pole
 - Concrete Monument
 - Property Adjorners
 - Flag Pole
 - Traverse Point
 - 12" Sit Spot
 - Building Setback Line
 - Soil Types
 - Proposed Contour
 - Drainage Swale

MARK	REVISIONS	DATE

NIRMAL SINGH & MOHINDER KAUR GILL
CITY OF HARRISBURG
DAUPHIN COUNTY, PENNSYLVANIA

PROPOSED CONDITIONS
1933-1951 HERR STREET
HARRISBURG, PA 17103

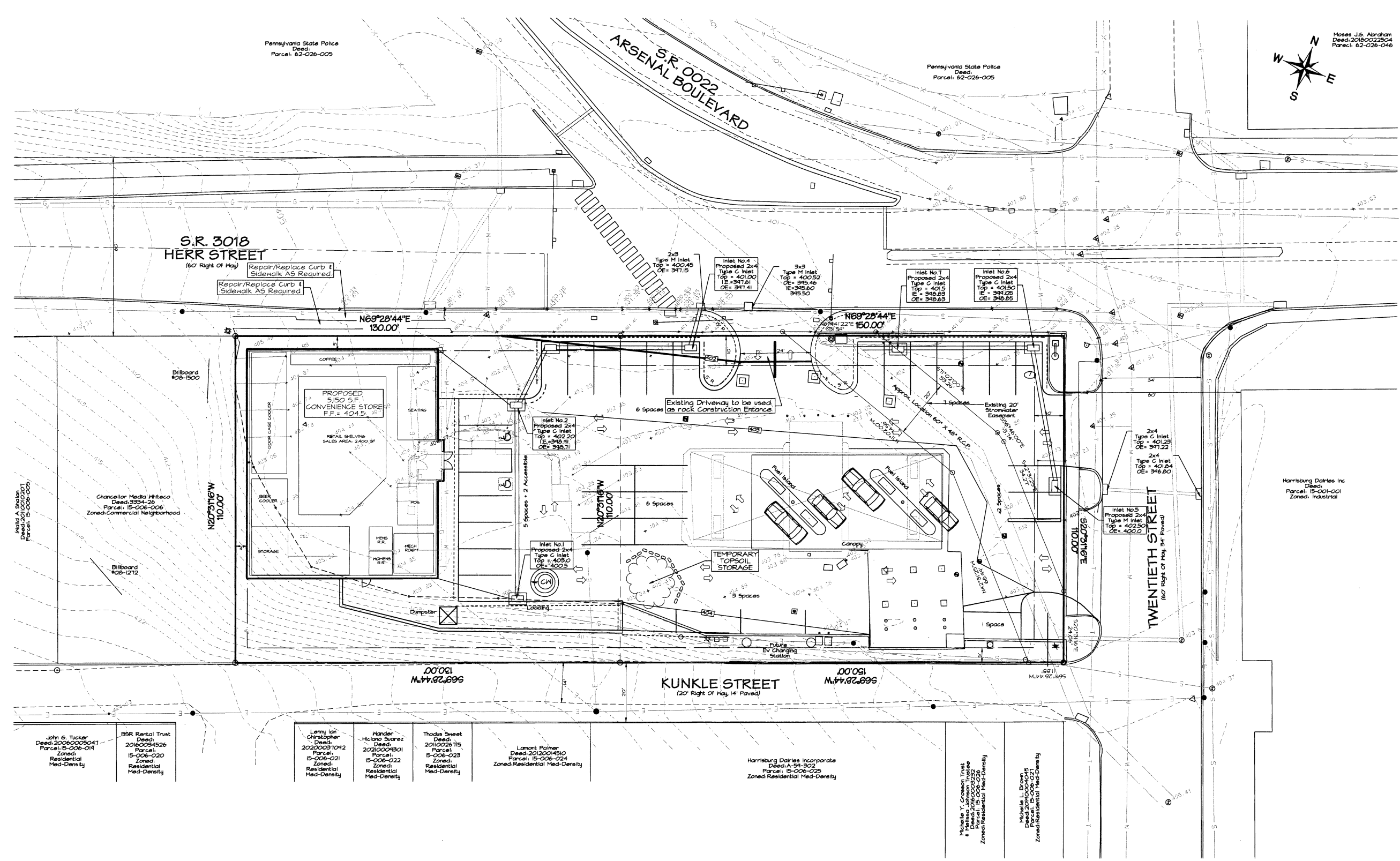
GLACE ASSOCIATES, INC.
CONSULTING ENGINEERS
CAMP HILL, PENNSYLVANIA

DRAWN BY:	APPROVED:	SCALE:	DRAWING NO.:
DESIGNED BY:	AS NOTED:	FILE CODE:	LDS
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DATE:	DATE:	FILE CODE:	SHEET 5

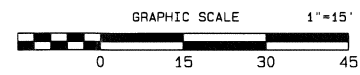
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LEGEND

- Sign
- Spot Elevation
- Proposed Elevation
- Overhead Telephone Line
- Underground Telephone Line
- Overhead Electric Line
- Underground Electric Line
- Existing waterline
- Light Standard
- Property Corner
- Existing Contour
- Monitoring Well
- RCE Rock Construction Entrance
- Concrete Curb
- Right of Way
- Fence Line
- Deep Probe
- Instability Probe
- Shrub
- Utility Pole
- Concrete Monument
- Property Adjoints
- Flag Pole
- Traverse Point
- Soil Types
- Building Setback Line
- 12" Soil Soxx
- Proposed Contour
- Drainage Swale

MARK	REVISIONS	DATE

NIRMAL SINGH & MOHINDER KAUR GILL
 CITY OF HARRISBURG
 DAUPHIN COUNTY, PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 1933-1951 HERR STREET
 HARRISBURG, PA 17103

GLACE ASSOCIATES, INC.
 CONSULTING ENGINEERS
 CAMP HILL, PENNSYLVANIA

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DESIGNED BY:	ENGINEER:	AS NOTED	PC1
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E & S PLAN NOTES

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
- At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCOM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCOM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1176 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may commence in any stage or phase of the project until the E&S BMPs specified by the BMP procedure for that stage or phase have been installed and are functioning as described in this E&S plan.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan maps. In the amount necessary to complete the final grading of all exposed areas that are to be stabilized by vegetation, such stockpiles shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
- All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq., 2711 et seq., and 2871 et seq. No building materials or wastes or unused building materials shall be buried, dumped, or discharged at the site.
- All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated. All building materials and wastes must be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq., 2711 et seq., and 2871 et seq. No building material or wastes or unused building materials shall be buried, dumped, or discharged at the site.
- The contractor is responsible for ensuring that any material brought on site is clean fill. Form FF-200 may be retained by the property owner if fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
- All pumping of water from any work area shall be done according to the procedure described in this plan, under undisturbed vegetated areas.
- Vehicles and equipment may neither enter directly nor exit directly from lots PARCEL- 24-016-045 onto SR. 0225.
- Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event of 1/4 inch or more and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remodeling and resetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be required.
- A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
- Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, hosed, or swept into any roadside ditch, storm sewer, or surface water.
- All sediment removed from swales shall be disposed of in the manner described on the plan drawings. Sediment removed from BMPs during maintenance should be placed in the topsoil storage area.
- Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches. 6 to 12 inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
- All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
- All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
- Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
- Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
- Fill shall not be placed on saturated or frozen surfaces.
- Sleeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
- All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes of completed basins shall be stabilized as described on the plan. Areas with a minimum of 2 feet of surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
- Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-permitting months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
- Permanent stabilization is defined as a minimum uniform, perennial 10% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding or other movements.
- E&S BMPs shall remain functional as well as until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized in order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district to schedule a final inspection.
- Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
- Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems. Concrete wash containment facility shall be lined with an impervious material to allow residual concrete to harden and allow water to evaporate.
- All channels shall be kept free of obstructions including but not limited to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation and construction material/wastes.
- Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.
- Channels having riprap, Reno mattress, or gabion linings must be sufficiently over-excavated so that the design dimensions will be provided after placement of the protective lining.
- Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to clog the basin/trap outlet structures and/or pollute the surface waters.
- Sediment basins shall be protected from unauthorized acts by third parties.
- Any damage that occurs in whole or in part as a result of basin or trap discharge shall be immediately repaired by the permittee in a permanent manner satisfactory to the municipality, local conservation district, and the owner of the damaged property.
- Upon request, the applicant or his contractor shall provide an on-site (record drawing) for any sediment basin or trap to the municipal inspector, local conservation district or the Department.
- Erosion control blanketing shall be installed on all slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas specified on the plan maps and/or detail sheets.

WETLANDS NOTE:

All wetland areas, including riverine systems, are to be protected and remain undisturbed. No wetlands exist on the mapping for this property.

RECYCLING AND DISPOSAL OF BUILDING MATERIALS AND WASTES:

All building materials and wastes must be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa Code 2601 et seq., 2711 et seq., and 2871 et seq. No building material or wastes or unused building materials shall be buried, dumped, or discharged at the site.

RESPONSIBILITIES FOR FILL MATERIALS:

Clean fill may be used in an unrestricted manner. However, clean fill may only be placed in waters of the Commonwealth if other environmental programs authorize such use. To determine whether fill is uncontaminated, a person should perform environmental due diligence. If due diligence shows no evidence of a release, the material may be managed as clean fill under this policy. If due diligence shows evidence of a release, the material is regulated fill and may not be managed under this policy. Clean Fill: Uncontaminated, non-water-soluble, nondecomposable inert solid material used to level an area or bring the area to grade. The term does not include materials placed in or on the waters of the Commonwealth. The term does not include materials placed in or on the waters of the Commonwealth. The term does not include materials placed in or on the waters of the Commonwealth. The term does not include materials placed in or on the waters of the Commonwealth. The term does not include materials placed in or on the waters of the Commonwealth.

POST - CONSTRUCTION STORMWATER MANAGEMENT PLAN

- After construction has been completed, the erosion control procedures must be maintained. The owner shall establish an Erosion Control Inspection program in which a written log will be maintained pertaining to the site E&S maintenance. The logbook will reflect the inspection date, by whom, condition of the E&S facilities and a description of maintenance performed. The logbook will be a thorough record of E&S maintenance and available for review at any time by the Dauphin County Conservation District.
- Inspections will be made once every three months and after a severe storm event.
- All debris will be removed from the stormwater facilities which include the drainage swales, infiltration basin, basin outlet structure, and energy dissipator. All drainage conduits and inlets will be inspected and debris removed.
- The outlet structures will be kept free of debris and repaired immediately if they receive any damage.
- The drainage swales, basin, and vegetated areas will be inspected for stress and will be repaired immediately.
- The swale and basin side slopes and embankments will be inspected for any evidence of damage by burrowing animals. If any burrowing is discovered it is to be corrected immediately.
- The basin is to be kept free of a build up of silt. If any is to be discovered, it is to be removed and disposed of at an environmentally approved spoils disposal site.

SEQUENCE OF CONSTRUCTION:

- STAGING OF EARTH MOVING ACTIVITIES (102.5B)(5)
- Preconstruction
 - The contractor shall submit written notification to the County Conservation District at least 12 hours prior to the start of construction.
 - An on-site preconstruction meeting shall be held between the Dauphin County Conservation District and the Contractor.
- Erosion and sedimentation controls must be constructed, stabilized, and functional before site disturbance within the tributary areas of those controls. Controls must be properly maintained during the life of the project.
- Temporary stabilization: Any disturbed area on which activity has ceased and which will remain exposed for more than 4 days must be stabilized. During nongerminating periods, which must be applied at the recommended rates. Disturbed areas which are not at a finished grade and which will be reactivated within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas which either are at finished grade or will not be reactivated within 1 year must be stabilized in accordance with permanent seeding specifications.
- Initial Controls
 - Identify areas to remain undisturbed and mark.
 - Install silt sock at the topsoil stockpile and around any earthmoving.
 - The existing driveway shall be used as the construction entrance.
 - Install Silt Sock at the other locations as shown on the plan.
 - Bulk grading.
- Protect areas identified as infiltration locations
 - Strip and stockpile topsoil from those areas to receive bulk grading or fill material.
 - Install and complete bulk grading for the site. The building pads, driveway and parking area shall be brought to subsurface elevation.
 - As soon as the progress allows, those areas that will not be disturbed for the construction of the buildings or other improvements should be fine graded. Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum 2 inches on fill outcrops. Seeding should be in such a manner that seeding will be established in accordance with permanent seeding specifications or tillage.
 - All disturbed areas shall then be permanently seeded or landscaped.
- Sediment removal materials should be placed in the spoils disposal area.
- Place and compact sub-base course for the Driveway/Parking Areas.
- Install Stormwater Infiltration Basin controls as shown in detail located on sheet.
- Install inlets, inlet Protection/Pipes and swales and stabilize immediately.
- Dividing construction.
- Contracting during addition. Limit area of disturbance.
- Complete fine grading operations and apply permanent seed to all disturbed areas.
- Removal of control facilities
 - Contact the County Conservation District prior to the removal of any Temporary BMPs.
 - When other areas of the site are stabilized by achieving uniform 10% vegetative cover on seeded areas and application of subsoil moisture, remove the Silt Sock and seed any disturbed areas.
 - Reseed any areas where grass has not grown.

SEEDING SCHEDULE

- TEMPORARY CONTROL MEASURES (102.5B)(6)

Purpose: provide control during construction of the project. Their ability to provide safe efficient control and rapid cover is more important than long term structural and maintenance considerations.

Type of measures and facilities:

 - Silt/Sock: to reduce or eliminate mud onto a paved road or parking area.
 - Silt/Sock: to remove sediment from runoff by reducing velocity and filtering.
 - Temporary seeding: to provide a rapid cover for soil stockpiles and disturbed areas where final cover will not be within 20 days. Seeding shall be as follows:
 - Temporary seeding shall be 100% of grass (either species) or 50% of 1 lb/1000 Sq Ft.
 - Mulch shall be native or agricultural grasses such as wheat, oats, or straw applied at a minimum 2-inch depth. Secure with pegs and twine, amended asphalt, mulch, or heavy wood cellulose.
 - Other facilities which owing to special problems encountered during construction are required to meet chapter 102 of DEP rules and regulations.
- PERMANENT CONTROL MEASURES AND FACILITIES (102.5B)(7)

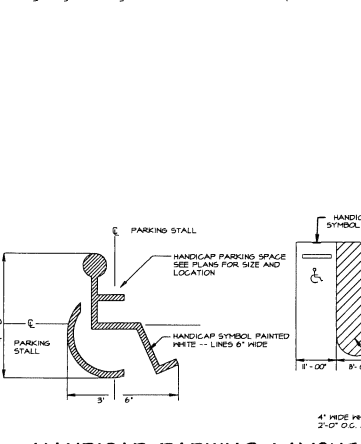
Purpose: provide control on a long term basis after the project is completed.

Type measures and facilities:

 - Grading: to prevent the buildup of large volumes of storm water, to provide areas to reduce velocity and slopes which are easy to maintain.
 - Seeding and landscaping: to limit erosion and reduce runoff. Seeding shall be as follows. Owing to the nature of the facility, other specialized species may be utilized.
 - Permanent grass seed mixture: 40% Kentucky Bluegrass, 40% perennial creeping red fescue, 20% native perennial ryegrass at the rate of 1 lb/1000 Sq Ft.
 - Liming broadcast and work into a four to six inch depth, one hundred pounds of ground limestone per 1000 Sq Ft.
 - Fertilizer: broadcast and work deeply (four to six inches) 20 lb/1000 Sq Ft. of 10-20-10 fertilizer, immediately before seeding; apply a slower fertilizer of 16-8-8 at a rate of 10 lb/1000 S.F.
 - Mulch shall be native or agricultural grasses such as wheat, oats, or straw applied at a minimum 2-inch depth. Secure with pegs and twine, amended asphalt, mulch, or heavy wood cellulose.

HIGHWAY OCCUPANCY PERMIT

Access to the State highway is authorized by a State Highway Occupancy Permit. No building construction or work within the State highway r/w may commence without said permit.



HANDICAP PARKING LAYOUT

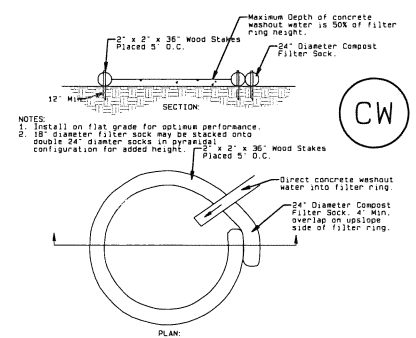
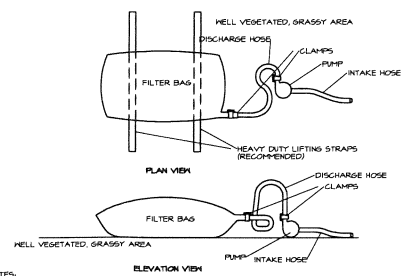
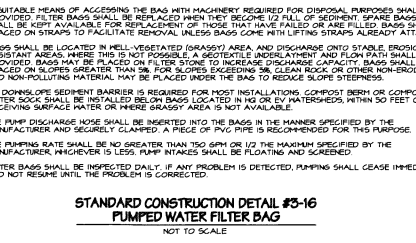


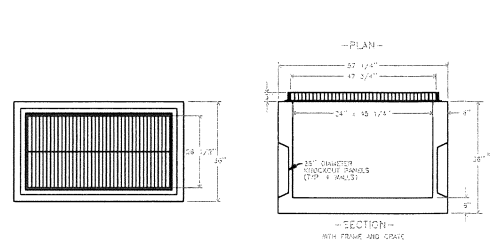
FIGURE 3.18 CONCRETE WASHOUT AREA



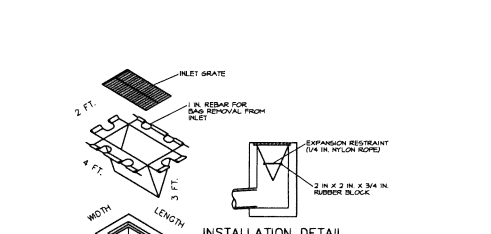
STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE



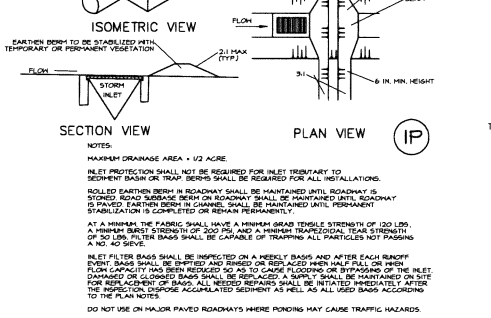
STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG



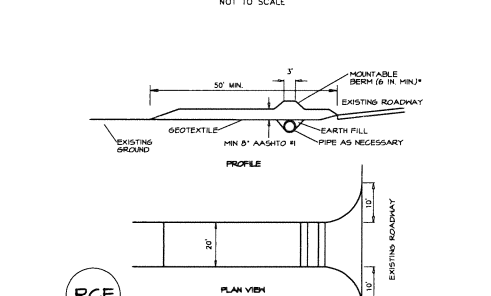
TYPE "M" INLET



TYPE "C" INLET



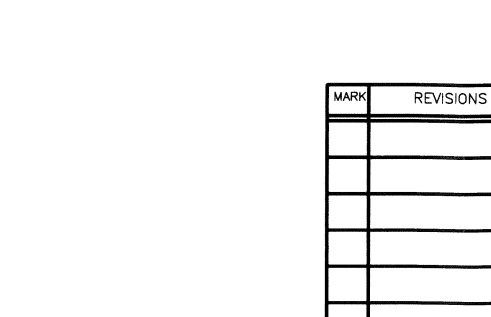
STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET



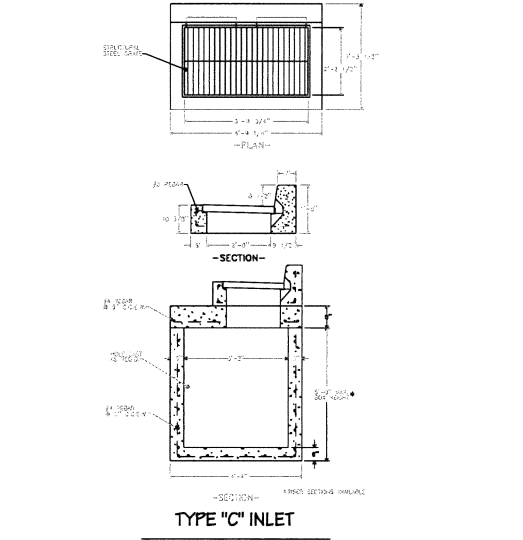
STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE

SOCK DIA. (IN)	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1	As Shown on Plan	4%	32'
2	As Shown on Plan	4%	30'
3	As Shown on Plan	25%	25'

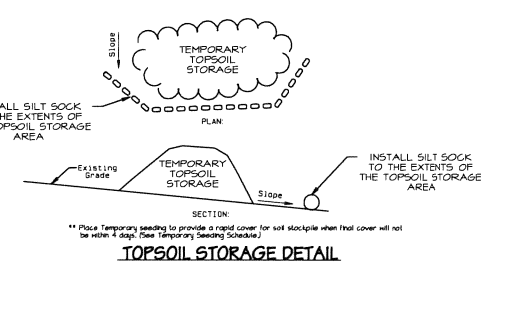
STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



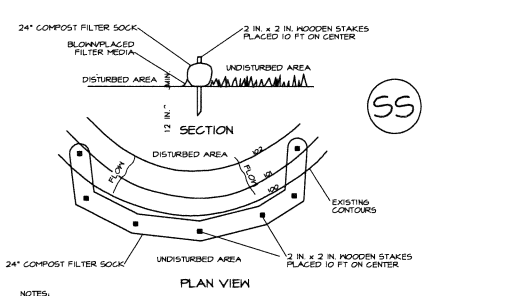
STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



TOPSOIL STORAGE DETAIL



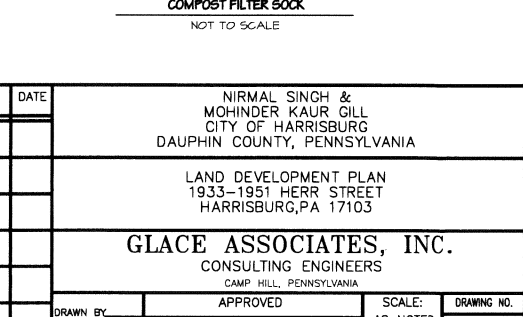
STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE



STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

SOCK DIA. (IN)	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1	As Shown on Plan	4%	32'
2	As Shown on Plan	4%	30'
3	As Shown on Plan	25%	25'

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE

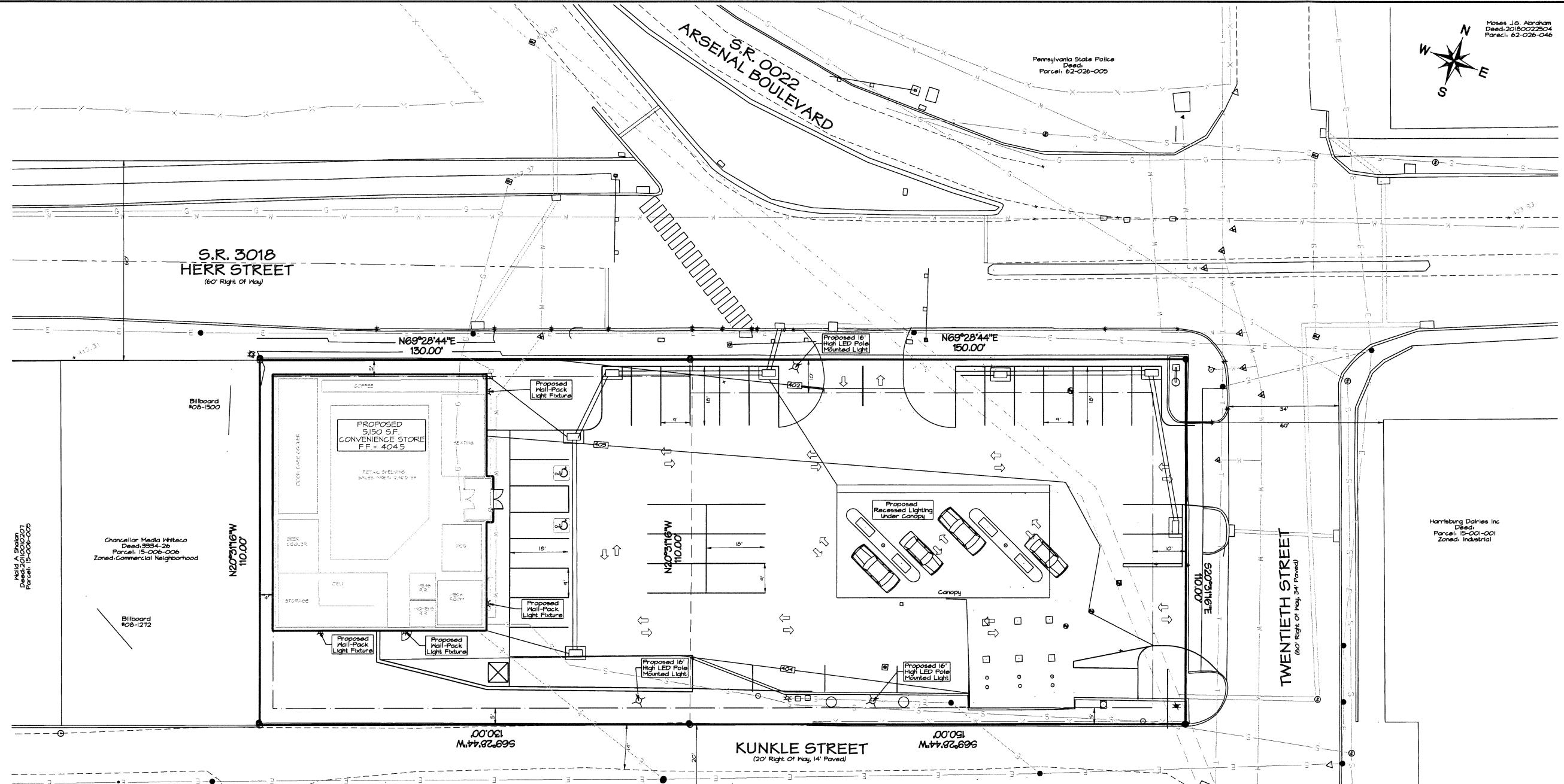
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			LAND DEVELOPMENT PLAN 1933-1951 HERR STREET HARRISBURG, PA 17103		
			GLACE ASSOCIATES, INC. CONSULTING ENGINEERS CAMP HILL, PENNSYLVANIA		
DRAWN BY:		APPROVED:	SCALE:	DRAWING NO.	
DESIGNED BY:		ENGINEER:	AS NOTED	ES1	
CHECKED BY:		DATE:	FILE CODE:	SHEET 7	
FILE NAME: BLANK TITLE BLOCK.DWG FILE DATE: Jan/16/2023 7:50 AM			8322201		



Moses J.G. Abraham
Deed: 2018022254
Parcel: 62-026-046

Pennsylvania State Police
Deed:
Parcel: 62-026-005

Harrisburg Dairies Inc.
Deed:
Parcel: 15-001-001
Zoned: Industrial



Chancellor Media Whiteco
Deed: 3934-26
Parcel: 15-006-006
Zoned: Commercial Neighborhood

Billboard
#08-1500

Billboard
#08-1272

John G. Tucker
Deed: 20060005041
Parcel: 15-006-014
Zoned:
Residential
Med-Density

BSR Rental Trust
Deed: 2006034526
Parcel:
15-006-020
Zoned:
Residential
Med-Density

Lenny Ian
Christopher
Deed: 2020081042
Parcel:
15-006-021
Zoned:
Residential
Med-Density

Hander
Hiclan Suarez
Deed: 2020082801
Parcel:
15-006-022
Zoned:
Residential
Med-Density

Thoda Sheel
Deed: 2010026715
Parcel:
15-006-023
Zoned:
Residential
Med-Density

Lamont Palmer
Deed: 20190014510
Parcel: 15-006-024
Zoned: Residential Med-Density

Harrisburg Dairies Incorporate
Deed: A-94-302
Parcel: 15-006-025
Zoned: Residential Med-Density

Michelle Y. Gerson Trust
Deed: 20190014510
Parcel: 15-006-026
Zoned: Residential Med-Density

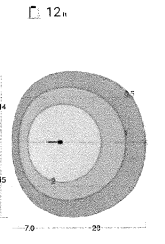
Michelle L. Brown
Deed: 20190014510
Parcel: 15-006-027
Zoned: Residential Med-Density

RAB

02/21/2024

02/21/2024

Luminaire Height	12' W
Battery Driver Factor	1.30
Light Loss Factor	1.30
Soil Pollution Factor	1.40
Luminaire Lumens	1247 Lum



Max 0.92%
Min 1.02%

Aug 14 9
Sep 11 22

Max 4.3%
Min 106.6%

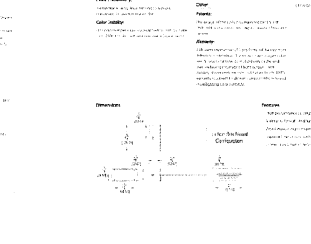
WPLED10Y

Height	Type
12'	Street
15'	Street
20'	Street



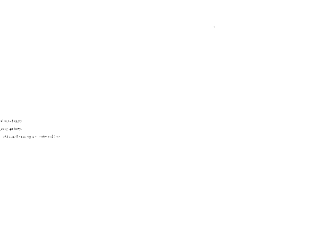
RAB

Height	Type
12'	Street
15'	Street
20'	Street



WPLED10Y

Height	Type
12'	Street
15'	Street
20'	Street



RAB

Height	Type
12'	Street
15'	Street
20'	Street



MARK	REVISIONS	DATE

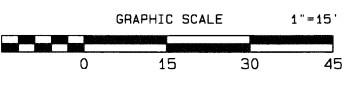
NIRMAL SINGH &
MOHINDER KAUR GILL
CITY OF HARRISBURG
DAUPHIN COUNTY, PENNSYLVANIA

ILLUMINATION PLAN
1933-1951 HERR STREET
HARRISBURG, PA 17103

GLACE ASSOCIATES, INC.
CONSULTING ENGINEERS
CAMP HILL, PENNSYLVANIA

DRAWN BY:	APPROVED	SCALE:	DRAWING NO.
DESIGNED BY:	AS NOTED	FILE CODE:	11-1
CHECKED BY:	ENGINEER	FILE CODE:	8322201
DATE:	DATE:	SHEET	8

FILE NAME: BLANK TITLE BLOCK2000.DWG
FILE DATE: Jan/15/2023 7:50 AM



Dauphin County Subdivision/Land Development Review Report

Municipality City of Harrisburg Surveyor Burch and Assoc. Engineer Glance Assoc.

Plat Title 1933 -1951 Herr Street Subdivision and Land Development

Zoning District CN – Commercial Neighborhood; IND - Industrial Proposed Land Use Convenience Store with Gas Pumps

Plat Status:	Plat Type:	Regulations:
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Subdivision	<input type="checkbox"/> County
<input type="checkbox"/> Final	<input type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Municipal
<input checked="" type="checkbox"/> P/F	<input checked="" type="checkbox"/> Combined	<input checked="" type="checkbox"/> Zoning
<input type="checkbox"/> Minor		<input checked="" type="checkbox"/> S&LD

of Lots 2 # of New Lots 1 # of New D.U.s 0 Acreage Subdivided/Developed .70 Total Acreage .70

Date Received 5/23/2023 Staff Review 5/30/2023 Official County Review 5/30/2023

Reviewed by GD Checked by _____ Parcel No. 15-006-007 /008

Project Description: To consolidate two (2) existing lots, demolish existing structures and construct 5,150 sq ft convenience store with gas pumps

- *When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.*
- *Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.*
- *When applicable, zoning compliance to be verified by Municipal Zoning Officer.*
- *Appropriate sewage module component should be processed prior to final plat approval.*
- *Final plats must be recorded within 90 days of approval.*

Review comment with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

1. The Dauphin County Planning Commission staff has reviewed this plan at the request of the Harrisburg City Planning Department, as a requirement of State Code. The review is based on the current Subdivision & Land Development Ordinance, Chapter 7-5. By Pennsylvania Municipal Planning Code definition, the proposed development does qualify as a Subdivision/Land Development and was reviewed against those City requirements. The review recognizes the type of development being proposed but given no other options, the review was performed against the current ordinance. In an effort to reduce the duplication of producing the review comments, the staff has highlighted, on the City’s own checklist, the development requirements missing and most pertinent to this review and attached that checklist to this cover page.



City of Harrisburg Subdivision and/or Land Development Checklist

Please use this checklist as a guide for submitting a Subdivision and/or Land Development Plan application. The content of this checklist is drawn from Chapter 7-501 of the Subdivision and Land Development Ordinance and will be used by City and County Planning Staff to evaluate your plans; however, it should not be used as a replacement for, or in lieu of the SALD Code. Applicants are encouraged to refer to the Code when preparing plans.

DRAFTING STANDARDS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.3(d)	Twenty-three (23) total copies of the plans shall be submitted with the application. Four (4) sets shall measure 24" x 36" (required by Dauphin County Recorder of Deeds), and nineteen (19) sets shall measure 11" by 17" or half sheet size .
2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.3(b)	Dimensions shall be in feet and decimals; bearings shall be in degrees, minutes and seconds. Lot line descriptions shall read in a clockwise direction.

All plans should include a cover sheet following the guidelines listed below.

COVER SHEET

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(1)	Title of the project
4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.1(A&B) 505.4(3) 505.10(1)	Name, address, phone number of the owner of the tract, the developer/ subdivider, and the firm that prepared the plans
5	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(4) 505.10(1)	File Number assigned by the firm, the plan date, and the date(s) of all revisions.
6	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(7) 505.10(1)	The total acreage of the tract or project
7	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(8) 505.10(1)	The district, setbacks, lot size, and/or density requirements of the City's Zoning Ordinance
8	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.1(c)	A location map, relating the project area to its location in the city
9	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(12) 505.10(8)(l)	A statement on the Plan indicating that all zoning approvals have been obtained
10	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(13) 505.10(8)(m)	A statement on the Plan indicating any existing or proposed waivers have been granted by City Council
11	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(o)	A source of title to the land, as shown by book of the Dauphin County Recorder of Deeds (for Final Plans)
12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(e) 505.10(9) (f)(i)	Certification of the engineer, surveyor or landscape architect, to the effect that the plans are accurate (See Appendix No. 1 in the SD/LD Code)
13	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(e) 505.10(9) (f)(iii)	Signature block as it will appear on the Final Plan (See Appendices No. 2 A to 2-C and No. 3 A to 3 B)

14	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(9) (f)(iv)	Notation space to accommodate the Dauphin County Recorder of Deeds information (including Plan Book, Volume and Page)
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The preferred layout of the cover sheet is represented in Figure 1 (below):

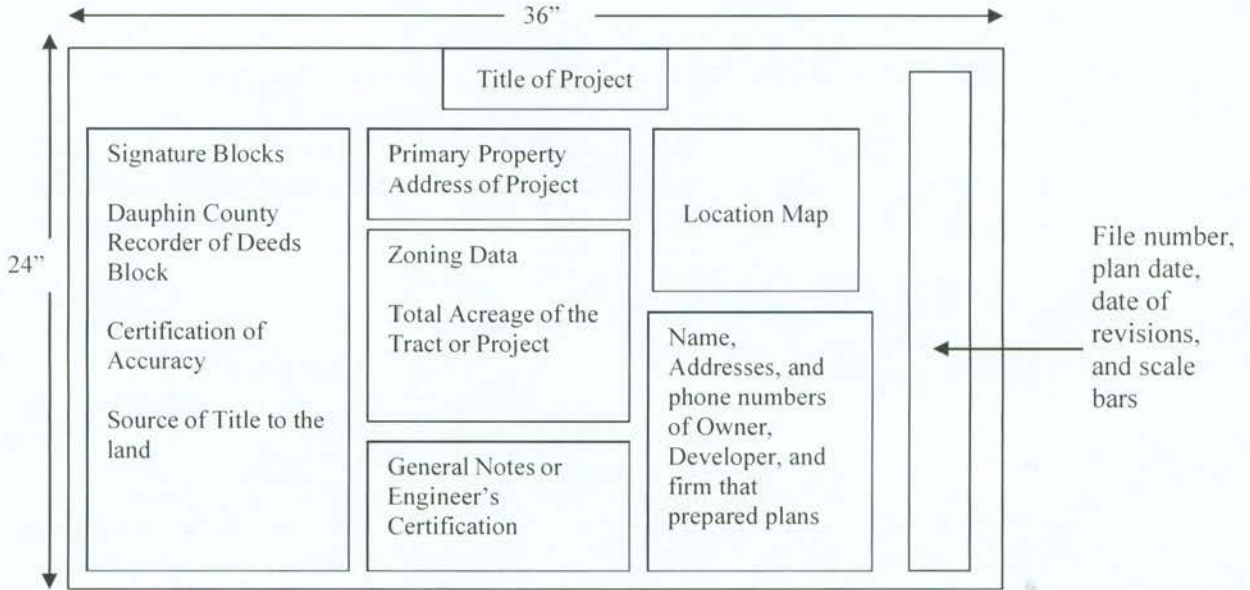


Figure 1

BASIC PLAN REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
15	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.9(1) 505.10 (11)(A)	Check or money order made out to "City Treasurer" in an amount specified on Subdivision/Land Development Fee Schedule
16	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.9(2) 505.10 (11)(B)	Check made out to Dauphin County Planning Commission in an amount specified on Subdivision/Land Development Fee Schedule
17	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(2)	Location of any municipal boundary line (if applicable)
18	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(5)	A north arrow, a graphic scale, and a written scale
19	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(6)	The entire existing tract boundary with bearings and distances
20	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(7)	The total acreage of each tract involved with the project
21	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(9)	The location of existing lot line markers along the perimeter of the existing tract
22	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(10)	A location map, relating the project site to at least 2 intersections of street centerlines
23	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.4(11)	Property address(es) as assigned by the City's Registrar of Real Estate
24	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(1) 505.10(3)	Existing contours, at an interval of 2 feet for land with an average slope of four percent (4%) or less and at a minimum vertical interval of 5 feet for more steeply sloping land
25	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(2) 505.10(4)	Names of all adjacent landowners and the names and plan book numbers of all recorded plans for adjacent projects
26	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(5)	Location of historic structures, wetlands, unbuildable portions of the site, or other significant features

27	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(1) 505.10(8)(A)	Layout of streets, alleys, sidewalks, including cartway and rights-of-way widths. For Final Plans this shall include distances and bearings, with curve segments comprised of radius, tangent, arc, and chord
28	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7-505.6(2) 505.10(8)(B)	Lot lines, with accurate bearings and distances and lot areas for all parcels
29	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(3) 505.10(8)(C)	Block and lot numbers in consecutive order
30	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(5) 505.10(8)(E)	Total number of lots, units of occupancy, density, and proposed land use
31	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(6) 505.10(8)(F)	Easements and rights-of-way
32	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(7) 505.10(8)(G)	Building setback lines with distances from front, rear, and side yard property lines
33	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(8) 505.10(8)(H)	Identification of buildings to be demolished
34	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(9) 505.10(8)(I)	Typical cross section of each street proposed or to be improved as part of the application. Cross section shall include entire right-of-way width
35	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(14) 505.10(8)(N)	Street names
36	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(P)	Location and material of all permanent monuments and lot line markers, noting that all monuments and markers are set, or indicating when they will be set (for Final Plans)
37	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(R)	Identification of any lands to be dedicated
38	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(c)(4) 505.10(9)(D)(iv) 507.7(1)(c)	Provide a Landscaping Plan

The following when located **within fifty feet of the site:**

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
39	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(3)(A) 505.10(6)(A)	Approximate location and name of existing rights-of-way and cartways for streets, access drives, and service streets
40	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(3)(B) 505.10(6)(B)	Sanitary sewer mains
41	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(3)(B) 505.10(6)(B)	Water supply mains
42	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(3)(B) 505.10(6)(B)	Fire hydrants
43	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(3)(D) 505.10(6)(C)	Storm water management facilities which effect storm water runoff on the site. Include the size, capacity, and condition of existing stormwater management system

The following when located **within the site:**

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
44	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(A) 505.10(7)(A)	The location, name, and dimensions of existing rights-of-way and cartways for streets, access drives, driveways, and service streets
45	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(A) 505.10(7)(B)	Sanitary sewer mains
46	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(A)	Water supply mains

				505.10(7)(B)	
47	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(A) 505.10(7)(B)	Fire hydrants
48	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(A) 505.10(7)(B)	Buildings
49	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(D) 505.10(7)(B)	Stormwater management facilities
50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(C) 505.10(7)(C)	The location of existing rights-of-way for electric, gas, and oil transmission lines and railroads
51	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.5(4)(D) 505.10(7)(D)	The size, capacity, and condition of the existing stormwater management system

Certificates and Notifications

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
52	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(b) 505.10(9)(B)	Correspondence from the owner or lessee of any electric transmission lines, gas pipelines, or petroleum projects transmission lines, located within the tract, stating any conditions on the use of the land and the minimum building setback and/or right-of-way line
53	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(d) 505.10(9)(E)	Traffic Impact Study, if required by City Engineer
54	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(9)(A)	Notification of approval from PA D.E.P. for any stormwater management facilities that effect an existing watercourse or have an upland drainage area greater than one-half mile; or that no approval is required
55	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(9)(J)	For plans which require access to a State Highway, the inclusion of the following plan note: "A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law", before driveway access to State Highway is permitted. Access to the State highway shall only be as authorized by a Highway Occupancy Permit, and City Council's/Planning Commission's approvals of this plan implies that such permit can be acquired."

Natural Features Preservation

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
56	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.7(1)(A)	Trees with a caliper of six inches (6") or more, measures at a height of 4-1/2 feet above grade, are to be retained, if not within proposed cartway, or sidewalk portion of street right-of-way, or within 15 feet of a proposed building
57	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.7(1)(B)	Where existing trees are removed along the street right-of-way, supplemental plantings required
58	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.7(2)(A)	Maintenance easement provided along all stream, river banks, and lake edges. Minimum width of easement to be 25 feet
59	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.7(2)(B)	Water frontage to be preserved as open space whenever possible
60	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.7(2)(C)	Access to be provided to the water and to maintenance easement area. Width of access points to be minimum of 50 feet
61	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.7(3)	Existing terrain to be preserved when possible. Cut and fill to be kept to a minimum

ADDITIONAL SUBDIVISION AND LAND DEVELOPMENT REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
62	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(f)	For Preliminary Plan calling for installation of improvements beyond two years, a schedule of the timing of the improvements
63	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	505.10(9)(A)	Notification from PA D.E.P. that either approval of the Sewer Facility Plan Revision or Supplement has been granted or that such approval is not required (Plan Revision Modular for Land Development)
64	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(D)	For Land Development Plans, the location and configuration of proposed buildings, parking compounds, streets, access drives, driveways, and all other significant planned facilities
65	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(Q)	For Land Development Plans, a grading plan, which shall include finished grades and ground floor elevations (may be provided on separate sheets, need not be recorded)
66	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	505.10(9)(H)	Approval from the City Solicitor of the Improvement Construction Guarantee

Land Development Plans **must include** drawings of the proposed development showing:

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
67	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	505.7(c)(4) 505.10(9)(D)(iv) 507.7(1)(c)	Landscape Plan showing treatment of private and common open space, the perimeter of the site, and elevation drawings highlighting the landscaping
68	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(c)(1) 505.10(9)(D)(i)	Elevation of all visible sides, including façade materials
69	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(c)(2) 505.10(9)(D)(ii)	Location and floor area of all existing and proposed buildings, structures, and other improvements, including height, types of units, and uses
70	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(c)(3) 505.10(9)(D)(iii)	Details of significant architectural features
71	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(c)(5) 505.10(9)(D)(v)	Vehicular and Pedestrian Circulation Plan, including parking, service areas, waiting areas, and major access points
72	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.7(c)(6) 505.10(9)(D)(vi)	Lighting, screening, drainage, and dimensions of all off-street parking areas

Design of the Utility Plan, which shall include the size, material, and vertical and horizontal locations of sanitary sewer, storm sewer, and water mains:

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
73	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(K)(i)	Include all calculations, assumptions, criteria, and references used in the design of stormwater management facilities, the establishment of existing facilities capacities, and the pre- and post-development discharge
74	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)(K)(ii)	All plans and profiles of the proposed stormwater management facilities
75	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8)	For all basins, a plotting or tabulation of the storage

				(K)(iii)	volumes and discharge curves with corresponding water surface elevations, inflow hydrographs, and outflow hydrographs
76	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8) (K)(iv)	Guidelines for lot grading within the subdivision, identifying the direction of stormwater runoff within each lot, and the areas where runoff will be concentrated (show using topographic data)
77	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(8) (K)(v)	Soil characteristics report and information on erosion and sediment control from the Dauphin County Soil and Water Conservation District

Block Layouts

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
78	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.4(b)	Blocks shall not exceed 750 feet and must be compatible with the City's existing grid system
79	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.4(c)	Residential blocks should be of sufficient depth to accommodate 2 tiers of lots

Lot Configurations

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
80	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(a)(1)	Size, depth, width, and orientation of lots shall conform to City zoning requirements
81	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(a)(2)	Side lot lines should be at right angles to straight street lines or radial to curved street lines, if practical
82	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(a)(3)	Where feasible lot lines should follow municipal boundaries rather than cross them
83	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(a)(4)	Remnants of land shall be incorporated into existing or proposed lots
84	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(b)(1)	All lots shall abut a street, existing or proposed
85	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(b)(2)	Double or reverse frontage lots shall be avoided
86	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.5(d)	Non-residential lots shall provide adequate space for yards, off-street loading and unloading, and parking

Building Design Guidelines

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
87	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.6(1)	Compatibility with existing structures
88	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.6(2)	Design incorporates architectural details found on adjacent buildings
89	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.6(3)	Building materials reflect surrounding development

STREETS, ACCESS STREETS, AND DRIVES – ADDITIONAL REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
90	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(9) 505.10(l)	Typical cross section of each street proposed or to be improved as part of the application. Cross section shall include entire right-of-way width
91	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(10)	Street centerline profile for each proposed street shown on the plan
92	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(1) 505.7(a)	Sketch of future street system, where Preliminary Plan covers only a part of the entire landholdings
93	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(9)(C)	Notice from postmaster that the proposed street names

					are acceptable															
94	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(9)(l)	Maintenance agreement for street which is not to be offered for dedication															
95	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(a)(5)	Street arrangement provides for continuation of streets in adjoining areas															
96	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(a)(5)	Provide for proper projection of streets where adjoining areas are not subdivided															
97	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(a)(5)	New streets carried to the boundaries of the tract to be subdivided															
98	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(a)(7)	Residential alleys are discouraged, unless site design calls for rear access parking; 22-foot minimum width if used															
99	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(a)(7)	Adequate alleys or off-street loading and unloading required in commercial or industrial areas															
100	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2 (c)(1)	Cartways to be minimum of 11-foot travel lanes															
101	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(c)(3)	Minimum street rights-of-way and cartway widths will be: <table border="1"> <thead> <tr> <th><u>STREET TYPE</u></th> <th><u>R.O.W. WIDTH</u></th> <th><u>CARTWAY</u></th> </tr> </thead> <tbody> <tr> <td>Arterial</td> <td colspan="2">determined by governing body after consultation with PennDOT</td> </tr> <tr> <td>Collector</td> <td>60 feet</td> <td>22 feet</td> </tr> <tr> <td>Local</td> <td>50 feet</td> <td>22 feet</td> </tr> <tr> <td>Alley/service drive</td> <td>30 feet</td> <td>22 feet</td> </tr> </tbody> </table>	<u>STREET TYPE</u>	<u>R.O.W. WIDTH</u>	<u>CARTWAY</u>	Arterial	determined by governing body after consultation with PennDOT		Collector	60 feet	22 feet	Local	50 feet	22 feet	Alley/service drive	30 feet	22 feet
<u>STREET TYPE</u>	<u>R.O.W. WIDTH</u>	<u>CARTWAY</u>																		
Arterial	determined by governing body after consultation with PennDOT																			
Collector	60 feet	22 feet																		
Local	50 feet	22 feet																		
Alley/service drive	30 feet	22 feet																		
102	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(d)(3) 507.2(d)(5)	Permanent dead-end streets not longer than 500 feet and provided with a cul-de-sac, having minimum outside road diameter of 80 feet															
103	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(e)(3)	Tangents between curves according to Engineering specifications															
104	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(f)(1)	Centerlines of streets intersect as nearly to 90 degrees as possible, but not less than 75 degrees, or more than 105 degrees															
105	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(f)(2)	Intersections involving the junction of more than two streets are prohibited															
106	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(f)(3)	Street jogs with centerline off-sets of less than 125 feet avoided															
107	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(f)(5)	Intersections with major streets shall be located not less than 800 feet apart															
108	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(h)	Street grades in accordance with Engineering specifications															
109	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.6(14)	New street names shall not duplicate existing names															
110	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(j)(1)	Direct access from residential lots to arterials shall be avoided															
111	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(j)(2)	Driveways on corner lots shall be located 40 feet from the point of intersection of the nearest street right-of-way															
112	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(j)(3) (A)	Access roads/driveways shall be: no less than 24 feet in width for multi-family residential, and all non-residential development															
113	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(j)(3) (B)	Access roads/driveways shall be no less than 10 feet for single family residential subdivisions, and no greater than 20 feet at the street line															
114	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.2(j)(5) (A&B)	Grade on access road/driveway shall not exceed 8% on arterial and 10% on collector or minor street															

EASEMENT REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
115	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.3(a)(1)	Minimum width shall be twenty (20) feet
116	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.3(a)(2)	When possible, easements shall be centered on the side

					or rear lot lines or along the front lot lines
117	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	507.3(b)	If subdivision is traversed by a water course or drainageway, an easement shall be provided conforming with the line of such water course or drainageway

CONDOMINIUM PROJECT REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
118	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.8(4)	Floor plans for all buildings
119	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.8(3)	Statement of proposed use for each unit and restrictions on use, if any
120	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.8(2)	Description of common elements, with allocation of the proportionate undivided interest expressed as a percentage assigned to each unit
121	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.8(1)	Statement of intent to submit the property to the provisions of the Unit Property Act, Act 117 of 1963, as amended (Preliminary Plan)
122	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	505.10(10)	Declaration, Declaration Plan and Code of Regulations required by the Unit Property Act, Act 117 of 1963 as amended (Final Plan - may be provided on a separate sheet)

Bureau Review Sheet

Date Issued: May 21, 2023

The following case is scheduled for Harrisburg Planning Commission review at their regularly scheduled meeting on June 7, 2023. Please review and comment by **Wednesday, May 31, 2023**, if possible. Please return all materials unmarked, including blueprints and drawings, to **Geoffrey Knight** (ext. 6637) in the Planning Bureau, Suite 405.

- **Preliminary/Final Lot Consolidation & Land Development Plan** for 1933 & 1951 Herr Street, zoned Commercial Neighborhood (CN) and Industrial (IND), respectively, filed by Nirmal Singh and Mohinder Kaur Gill, to demolish the existing buildings on the subject properties, combine the lots into a single parcel, and construct a new 5,150-square-foot convenience store and fuel-dispensing island.

Reviewed by:

- City Engineer
- Codes Bureau
- Fire Bureau
- Police Bureau
- Law Bureau
- Capital Region Water

Recommend **Approval**; no issues from this Bureau/Office.

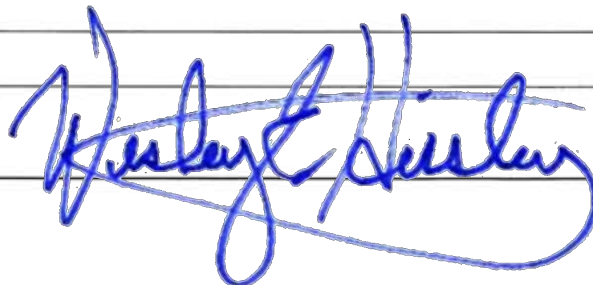
Recommend **Approval** with Issues/Conditions:

The primary points-of-concern are the proposed retaining wall and maneuvering of delivery trucks within the site.

I recommend a resubmission to address the comments listed in our comment letter dated 5/24/2023.

Recommend **Denial** for the following reasons:

SIGNATURE: _____



DATE: 5/31/2023

MEMORANDUM

TO: Geoffrey Knight, Planning Deputy Director
Bureau of Planning

FROM: Wesley Heisley, PE, Senior Project Manager
Temporary City Engineer

DATE: May 25, 2023

RE: Nirmal Singh & Mohinder Kaur Gill, 1933-1951 Herr Street
Preliminary / Final Subdivision and Land Development Plan
DEI Project No.: 2100390.00 - Task 004.0019

BACKGROUND

At the request of Geoffrey Knight, Planning Deputy Director, for the Bureau of Planning, Dawood reviewed the documents provided by Glace Associates in support of the above referenced plan submission. Dawood assumes that CRW will be addressing PCSM, E&SPC, Sanitary Sewer, & Potable Water, the City Planner will be addressing Flood Plain Management & Zoning Standard/Requirements and City Building Codes Administrator will be addressing building design.

The following information was included with the request:

- a) An 18-sheet plan set entitled final subdivision and land development plan dated 1/16/2023;
- b) A 1-sheet plan set entitled Existing Condition Plan for Nirmal Singh & Mohinder Kaur Gill dated 6/29/2023;
- c) A 1-sheet plan set entitled Site Plan for Nirmal Singh & Mohinder Kaur Gill dated 6/29/2023;
- d) A 1-sheet plan set entitled Existing Condition Plan for Nirmal Singh & Mohinder Kaur Gill dated 6/29/2023;
- e) 1933-1951 Herr Street PNDI dated 1/3/2023;
- f) A 10-sheet plan set entitled Building Proposal dated 2/1/2023; and
- g) The City of Harrisburg Subdivision and/or Land Development Application dated 4/20/2023.

COMMENTS

Regarding Lot Consolidation and Preliminary / Final Land Development Plan, we offer the following comments:

Waivers

The applicant is not requesting any waivers.

Required Permits and Approvals - The following permits are required by Ordinance:

1. An approved Highway Occupancy Permit for the proposed work within the Commonwealths Legal Right-of-Way.
2. An approval of the Erosion and Sedimentation Pollution Control Plan from Capital Region Water (CRW) is required.
3. If the area of disturbance exceeds 1 acre, a NPDES Permit will be required from CRW.

Subdivision/Land Development Plan comments

4. [§ 7-327.12.B] - The applicant shall certify that the proposed lighting meets the illumination standards established by the Illuminating Engineering Society (IES).
5. [§ 7-505.4.J. & 7-505.1.C] - Provide a more detailed location map on the cover sheet that is more legible and useful when attempting to find the site.
6. [§ 7-505.1.E] - Sheet LD2 does not have a written and graphic scale.
7. [§ 7-505.1.H] - Add proposed topography for all areas proposed for disturbance. Include spot elevations at critical locations where contours may not adequately describe the proposed surface (LD5).
8. [§ 7-505.3.A] - The plan should be drawn at a scale of 30 ft to the inch. However, other scales may be used if appropriate with an approved waiver.
9. [§ 7-505.3.E] - On sheet LD2 the contours are labeled, but the labels are not legible. On sheet PC1 the southwest end of the site near the dumpster and electric vehicle charging stations several items are illegible due to overlapping text.
10. [§ 7-505.4.H] - Zoning district and density requirements should be provided.
11. [§ 7-505.6.K(2)] - Calculations, assumptions, criteria and references used in the stormwater management facilities are required.
12. [§ 7-505.7.C (3)] - Provide profiles and sections for the retaining wall on the southwest end of the site.
13. [§ 7-505.7.C (3)] - Provide construction details for paving, sidewalks, curbs, etc.
14. [§ 7-507.3.A.1.] - A minimum easement width of 20-feet is required for sewer, water and Stormwater facilities within the property.
15. [§ 7-509.3.F.2 & 505.6.K(1).] - Include soil types and boundaries as well as the soil characteristics to the plans and / or report of the site.
16. [§ 7-511.3.F] - ADA ramps will be required at all intersections and at the approaches to each entrances.

17. [§ 7-511.7.A] - Existing sidewalks along Herr street and twentieth street shall remain in place or be replaced in kind.

Summary of Vehicle Parking/Use Policies

18. [§ 7-327.16.A] - Demonstrate that fuel delivery trucks, garbage trucks, and emergency vehicles can access and circulate adequately within the site assuming all parking spaces are occupied.
19. [§ 7-327.3.E.] - A minimum of ten (10) parking spaces for Bicycles must be provide.
20. [§ 7-327.9.B] - For a 2-way aisle with a 90 degree parking angle the width of the aisle shall be at 24ft.
21. [§ 7-327.10.A] - The width of the 2-way driveway entrance to the site shall either meet PennDOT standards or be 24 ft.
22. [§ 7-327.10 (B)] - A minimum of 50 ft shall be provided between entrances. Only one access should be provided on 20th street. because of the potential for traffic conflicts, it is recommended that the entrance be located away from the intersection with Herr Street.
23. [§ 7-329.9.A (4)] - Parking spaces cannot be located within the building setback limits.

Highway Occupancy Permit comments

24. [§ 7-513.2.B (1)] - Traffic impact study should be prepared.
25. Provide 24" white Stop bars and stop signs at all the sites exits.
26. Add 'No pedestrian' signs (R9-3) along Herr Street to prevent pedestrians from crossing at the intersection of Herr and 20th Street.
27. W1-7 sign (indicating only turning) for vehicles exiting the parking lot from the exit along Herr Street.
28. Providing ADA accessible ramps for all sidewalks/curbs

Exclusions:

To prevent the duplication of effort and to improve plan review accuracy, Dawood assumed the following:

- Ordinances regarding the building design would be reviewed by the City Building Codes Administrator.
- Ordinances regarding access and use of Potable water, stormwater management, sanitary sewers, and erosion and sediment controls would be review by Capital Region Water.
- Zoning Ordinance requirements for lot usage and changes of lot usage would be reviewed by the City's zoning authority.

Geoffrey Knight, Deputy Director of Planning
Nirmal Singh & Mohinder Kaur Gill - P/F Land Development Plan Review
May 25, 2023
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